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## One Merrick Park

351 San Lorenzo Avenue, Coral Gables

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**Site Owner:**

Laguna Merrick, LLC  
782 NW 42<sup>nd</sup> Avenue, Suite 550  
Miami, FL 33126

**Authorized Agent:**

Laguna Merrick, LLC  
782 NW 42<sup>nd</sup> Avenue, Suite 550  
Miami, FL 33126

**Site Address:**

351 San Lorenzo Avenue  
Coral Gables, FL 33146

**Architects:**

**PGAL**

791 Park of Commerce Blvd.  
Suite # 400  
Boca Raton, FL 33487

**Surveyor:**

Delta Mapping and Surveying, Inc.  
3301 SW 132<sup>nd</sup> Avenue  
Suite # 117  
Miami, FL 33186

**Structural Engineer:**

S&F Engineers, Inc.  
2925 West Cypress Creek Road  
Miami, FL 33092

**Traffic Engineer:**

David Plummer & Associates  
1750 Ponce de Leon Blvd.  
Coral Gables, FL 33134

**Landscape Architect:**

LandFluent, Inc.  
803 2nd Street  
Miami Beach, FL 33139

**M/E/P Engineer:**

OCI Associates, Inc.  
600 South Orlando Avenue, Suite 100  
Maitland, FL 32751

**Civil Engineer:**

Consulting Engineering & Science, Inc.  
10700 North Kendall Drive, Suite 400  
Miami, FL 33176

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April 15, 2015

Mr. Ramon Trias  
Planning and Zoning Director  
City of Coral Gables  
427 Biltmore Way, Suite 201  
Coral Gables, FL 33134

**RE: Planning Division Application for One Merrick Park / Property located at 351 San Lorenzo Avenue, Coral Gables, Florida**

Dear Mr. Trias:

On behalf of Laguna Merrick, LLC, the contract purchaser of the above-referenced property (the "Applicant"), please accept this letter as our formal request for the approval of a site plan for a proposed Mixed-Use development entitled One Merrick Park (the "Project") at the property located at 351 San Lorenzo Avenue, Coral Gables, Florida (the "Property"). The Property consists of approximately 11,000 square feet of vacant land and is located at the intersection of San Lorenzo Avenue and Laguna Street as illustrated below.



The Project seeks to integrate the existing mixed-use style of the area with the architectural beauty and cosmopolitan lifestyle of our City Beautiful, giving residents the opportunity to reside adjacent to retail, restaurant and entertainment destinations while enjoying the quintessential Coral Gables lifestyle.

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GREENBERG TRAUIG, P.A. ■ ATTORNEYS AT LAW ■ WWW.GTLAW.COM

333 S.E. 2nd Avenue ■ Suite 4400 ■ Miami, FL 33131-3238 ■ Tel 305.579.0500 ■ Fax 305.579.0717

### **Land Use and Zoning**

The Property is currently designated Industrial as located within the Mixed Use-Overlay District under the City's Future Land Use Map and is zoned Industrial as located within the North Industrial Mixed-Use District under the City's Zoning Atlas. The One Merrick Park project is consistent with both the Mixed Use District regulations of the Comprehensive Plan and the Zoning Code of the City of Coral Gables. The Property also meets the minimum site area for an MXD project within the North Industrial Mixed Use District as provided in Section 4-201(C) of the City of Coral Gables Zoning Code.

### **Description of One Merrick Park Project**

The Applicant seeks to create a unique mixed use project with residential and commercial space in the center of the City's Merrick Park neighborhood. The One Merrick Park project proposes thirteen (13) luxury residential units with related amenities and ground floor retail space which seeks to activate the pedestrian realm of the surrounding area. The Project consists of a single building with a proposed height of ten (10) stories and one hundred twelve (112) feet containing approximately forty-four (44) off-street parking spaces. The increased height will allow the Applicant to locate the entrance to the parking garage along the abutting alley and away from Laguna Avenue as per the Development Review Committee (DRC) recommendation and Board of Architect (BOA) approval.

The Applicant has proposed a total of approximately 38,500 square feet of building floor area at the Property. The Project proposes a limited number of luxury residential units, each consisting of approximately 2,625 square feet of enclosed floor area. The ground floor of One Merrick Park consists of approximately 4,000 square feet of retail space along Laguna Street and San Lorenzo Avenue, complementing the existing adjacent and surrounding retail uses. Four (4) on-street parking spaces located along the perimeter of the Property will further serve the proposed retail uses at the Project. A loggia located along the ground floor of the Project invites residents and visitors to enjoy the Merrick Park neighborhood while providing an entrance feature to the Project's lobby.

### **Context and Compatibility**

The proposed One Merrick Park project is within the context and compatible with the existing uses, architecture and developments of the surrounding areas and vicinity. The Village of Merrick Park, one of the City's premier retail, dining and residential destinations, is located to the South and East of the Property. The Property is also abutted by a restaurant with drive-thru and surface parking facilities to the West and various retail and office structures to the North. The proposed height will be compatible with the existing development within the North Industrial Mixed-Use District.

As discussed above, the One Merrick Park project proposes retail space along the ground floor which is compatible with the existing retail uses located to the North of the Property along Laguna Street, to the West along San Lorenzo Avenue and within the adjacent Village of Merrick Park. The residential component of the One Merrick Park project will encourage its residents to live, dine and shop within walking distance of the Village of Merrick Park. The

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proposed residential uses at the Project are also compatible with the City's vision for redevelopment of the Merrick Park area and the intent of the Mixed Use Overlay District. Accordingly, we believe that the Project will be a positive and thrilling addition to the City of Coral Gables and will contribute to the City's unique lifestyle.

We look forward to your favorable consideration of our request. Should you require any additional information or have any questions regarding this matter, please contact me at (305)579-0821.

Sincerely,

GREENBERG TRAURIG



Jorge L. Navarro



# City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

## Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: \_\_\_\_\_

## General information

Street address of the subject property: 351 San Lorenzo Avenue, Coral Gables, Florida 33146

Property/project name: One Merrick Park

Legal description: Lot(s) 8-11

Block(s) 9 Section (s) Coral Gables Industrial Section PB 28, PG 22

Property owner(s): Laguna Merrick, LLC

Property owner(s) mailing address: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126

Telephone: Business 305-448-4091 Fax 305-448-4916

Other \_\_\_\_\_ Email roger @ rogerdevelopment.com



# City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Jorge L Navarro, Esq.

Applicant(s)/agent(s) mailing address: Greenberg Traurig, 333 SE 2 Avenue, Suite 4400, Miami, FL 33131

Telephone: Business 305-579-0821 Fax 305-961-5310

Other \_\_\_\_\_ Email navarrojo @ gtlaw.com

## Property information

Current land use classification(s): Industrial / Mixed-Used Overlay District

Current zoning classification(s): Industrial / North Industrial Mixed-Use District

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

## Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



- Property owners list, notification radius map and two sets of labels.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Zoning Analysis ( Preliminary).
- Zoning Code text amendment justification.
- Warranty Deed.
- Other: \_\_\_\_\_

**Application submittal requirements**

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

**Applicant/agent/property owner affirmation and consent**

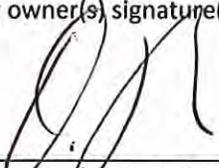
(I) (We) affirm and certify to all of the following:

1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



# City of Coral Gables Planning Division Application

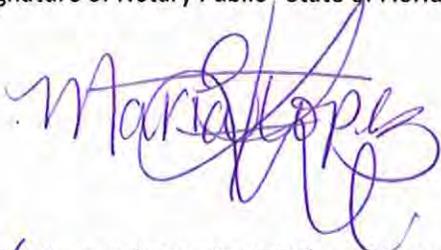
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): 	Property owner(s) print name: Laguna Merrick, LLC Oscar Roger	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address: 782 NW 42nd Avenue, Suite 550, Miami, FL 33126		
Telephone: 305-448-4091	Fax: 305-448-4916	Email: oroger@rogerdevelopment.com

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 2nd day of July by Oscar Roger  
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:
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**NOTARIZATION**

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

Applicant(s)/Agent(s) Signature:	Applicant(s)/Agent(s) Print Name:
----------------------------------	-----------------------------------

Address:

Telephone:	Fax:	Email:
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**NOTARIZATION**

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

**One Merrick Park****Owner**

Laguna Merrick, LLC  
782 NW 42nd Avenue, Suite 550  
Miami, FL 33126

Oscar Roger, Manager

[oroger@rogerdevelopment.com](mailto:oroger@rogerdevelopment.com)

T: 305.448.4091

**Authorized Agent**

Laguna Merrick, LLC  
782 NW 42nd Avenue, Suite 550  
Miami, FL 33126

Oscar Roger, Manager

[oroger@rogerdevelopment.com](mailto:oroger@rogerdevelopment.com)

T: 305.448.4091

**Zoning Attorney**

Greenberg Traurig, P.A.  
333 SE 2nd Avenue  
Miami, FL 33131

Jorge L. Navarro, Associate

[navarroj@qtlaw.com](mailto:navarroj@qtlaw.com)

T: 305.579.0500

**Architect**

PGAL  
791 Park of Commerce Blvd., Suite 400  
Boca Raton, FL 33487

Samuel J Ferreri, Principal In-Charge

[ferreri@pgal.com](mailto:ferreri@pgal.com)

T: 561.988.4002

**Landscape Architect**

LandFluent, Inc.  
803 2nd Street  
Miami Beach, FL 33139

Peter Anselmo, Design Director/Principal

[peter@landfluent.com](mailto:peter@landfluent.com)

T: 631.495.5588

**Traffic Engineer**

David Plummer & Associates  
1750 Ponce de Leon Blvd  
Coral Gables, FL 33134

Timothy J. Plummer PE, President  
Juan Espinosa PE, Vice President

[tim.plummer@dplummer.com](mailto:tim.plummer@dplummer.com)  
[juan.espinosa@dplummer.com](mailto:juan.espinosa@dplummer.com)

T: 305.447.0900  
T: 305.447.0900

**Surveyor**

Delta Mapping and Surveying, Inc.  
13301 SW 132nd Avenue, Suite 117  
Miami, FL 33186

Waldo F. Paez

[deltamapping@gmail.com](mailto:deltamapping@gmail.com)

T: 786.429.1024

**Civil Engineer**

Consulting Engineering & Science, Inc.  
10700 North Kendall Drive, Suite 400  
Miami, FL 33176

Richard B. Bochnovich PE, Senior Vice President

[richb@CESMIAMI.com](mailto:richb@CESMIAMI.com)

T: 305.378.5555

**Structural Engineer**

S&F Engineers, Inc.  
2925 West Cypress Creek Road, Suite 200  
Fort Lauderdale, FL 33309

Sri Sritharan

[sri@sfeengineers.com](mailto:sri@sfeengineers.com)

T: 954.938.0020

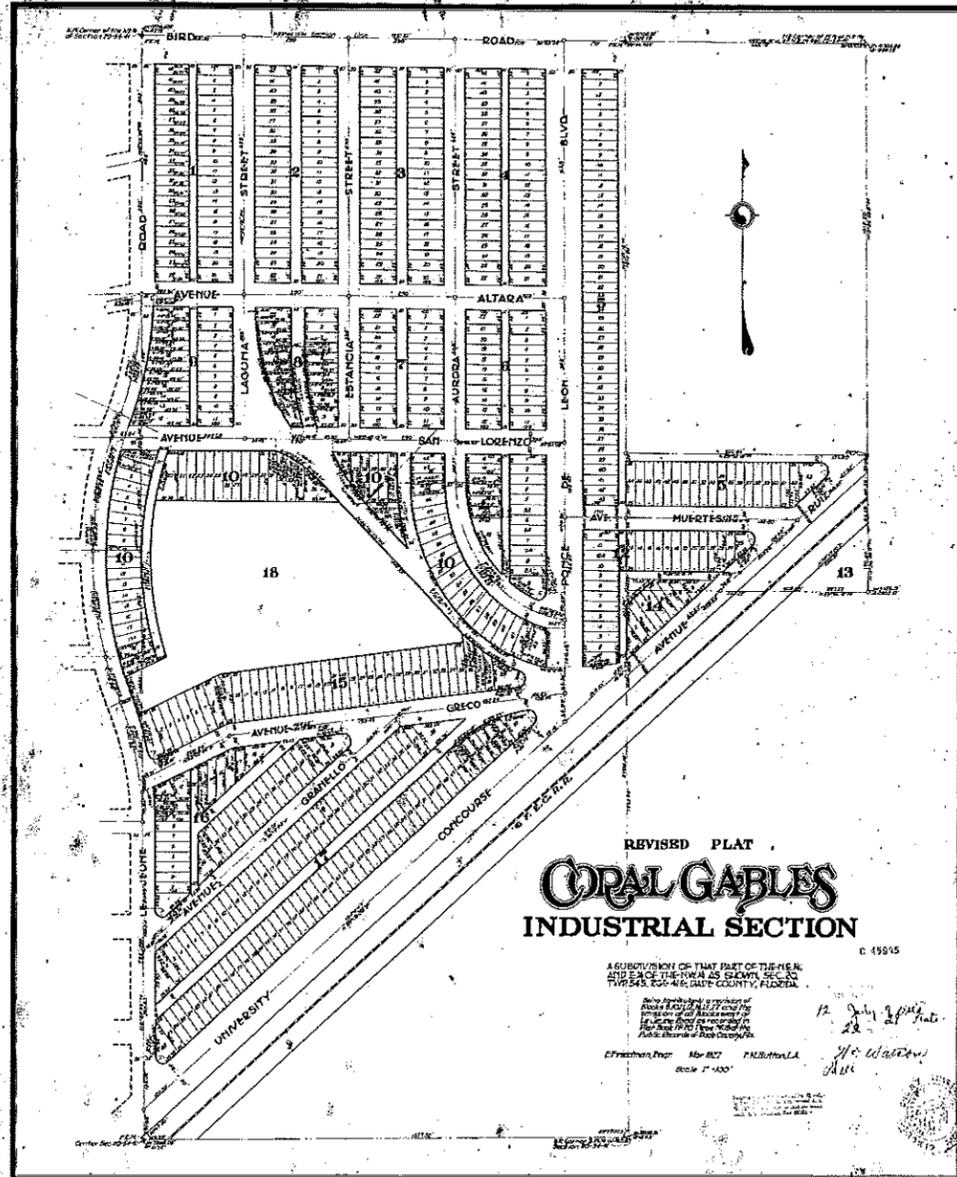
**M/E/P Engineer**

OCI Associates, Inc  
2 Harvard Court, Suite 100  
West Palm Beach, FL

Randy Stewart, Principal

[rstewart@ociassociates.com](mailto:rstewart@ociassociates.com)

T: 407.332.5110



REVISED PLAT  
**CORAL GABLES**  
 INDUSTRIAL SECTION

A SUBDIVISION OF THAT PART OF THE HEREIN AND EACH THEREOF AS SHOWN SEC. 20 TWP. 34S. R. 16E. Dade County, Florida.

Prepared by  
 J. C. Watson  
 12 July 1914  
 22  
 J. C. Watson  
 1914

28-202

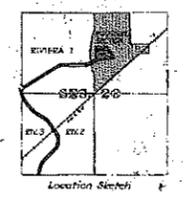
See Plat Book 2733 Page 25  
 for a Question Concerning  
 This Plat  
 E. P. Goshorn, Secy.  
 C. P. Goshorn, Secy.

I hereby certify that  
 this subdivision complies with  
 the laws of Florida and is  
 in accordance with the  
 best of my knowledge and  
 belief.  
 Edward P. Goshorn  
 A Professional Civil Engineer 1915

Subscribed and sworn to before me this 12th day of July 1914 at Coral Gables, Florida.  
 J. C. Watson  
 J. C. Watson

This plat was approved by resolution of the Board of Commissioners of Dade County, Florida, on the 12th day of July 1914.  
 J. C. Watson  
 J. C. Watson

APPROVED  
 J. C. Watson  
 County Engineer, Dade County



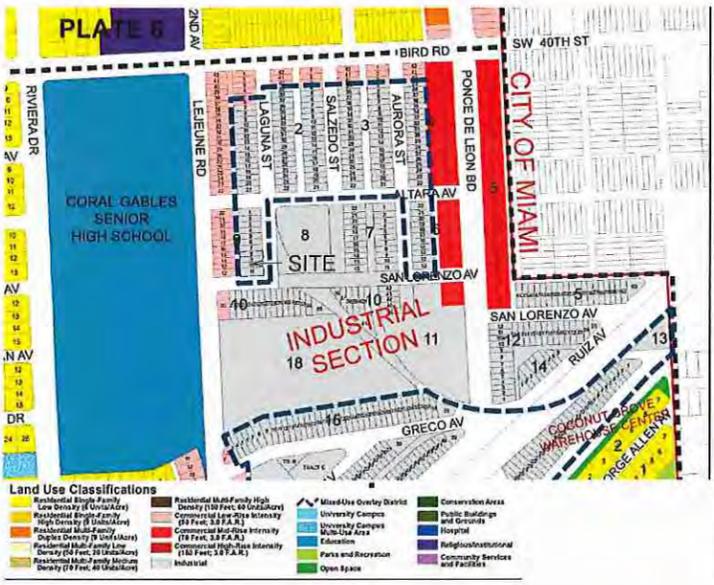
Location Sketch  
 This plat was prepared by  
 J. C. Watson  
 12 July 1914  
 22  
 J. C. Watson  
 1914



**1 CORAL GABLES ZONING MAP**



**2 CORAL GABLES FUTURE LAND USE MAP**



**3 SITE DATA**

DESCRIPTION	VALUE
ADDRESS	351 SAN LORENZO AVENUE, CORAL GABLES, FL 33148
LEGAL DESCRIPTION	LOTS 8 THROUGH 11 OF BLOCK 9, REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTIONS, ACCORDING TO THE PLOT THEREOF, AS RECORDED IN PLAT BOOK 28 AT PAGE 22 OF FOUO NO. 03-4120-017-1570
LOT SIZE	10,988.26 SF
ACREAGE	0.252 ACRES

**2 BUILDING DATA**

CONSTRUCTION TYPE	IB
OCCUPANCY GROUP	RESIDENTIAL
SUBCLASSIFICATION	R-2

**3 PROJECT AREAS**

DESCRIPTION	VALUE
RETAIL	3,529 SF
RESIDENTIAL	37,863 SF
TOTAL AREA	41,392 SF

**5 ZONING DATA**

DESCRIPTION	REQUIRED/ ALLOWED	PROVIDED
ZONING DISTRICT	INDUSTRIAL	(MXD) MIXED USE
OVERLAY DISTRICT	NORTH INDUSTRIAL MIXED USE DISTRICT	(MXD) MIXED USE
ARCHITECTURAL STYLE	MEDITERRANEAN	CORAL GABLES MEDITERRANEAN - LEVEL 1 BONUS
MIN LOT SIZE	10,000 SF	10,988.26 SF
LOT COVERAGE	NO MIN, NO MAX	10,637 SF
MIN PRIMARY STREET FRONTAGE	100'	110.02'
MIN MIXED USE PERCENTAGE	8% = (38,494 x .08) = 3,079.5 SF	9.2% = 3,529 SF
MAX FAR	3.5 = (10,988.26 x 3.5) = 38,494 SF	38,494 SF
MIN FRONTAGE (SECONDARY) - SAN LORENZO AVE	40% = (95'-7" x .4) = 39'-10"	94'-6" = 94.9%
MIN FRONTAGE (SECONDARY) - LAGUNA ST	40% = (108'-11" x .4) = 43'-7"	108'-11" = 100%
DENSITY	NO MAX	13 D.U. / 0.252 AC = 51.6 D.U./AC
LANDSCAPE OPEN SPACE	10% = 10,988.26 SF x .1 = 1,100 SF	1,100 SF

**6 SETBACKS**

DESCRIPTION	REQUIRED/ ALLOWED	PROVIDED
FRONT SETBACK - SAN LORENZO AVE	GROUND: 0'-0"; ABOVE 45': 10'-0"	GROUND: 0'-0"; ABOVE 45': 10'-0"
SIDE STREET - LAGUNA ST	GROUND: 0'-0"; ABOVE 45': 10'-0"	GROUND: 0'-0"; ABOVE 45': 10'-0"
INTERIOR SIDE - NORTH	GROUND: 0'-0"; ABOVE 45': 10'-0"	GROUND: 0'-0"; ABOVE 45': 10'-0"
REAR - WEST	GROUND: 0'-0"; ABOVE 45': 10'-0"	GROUND: 0'-0"; ABOVE 45': 10'-0"
AREA RECEIVED AT GROUND FLOOR DUE TO SETBACK REDUCTIONS ALONG SAN LORENZO		1,327.80 SF
OPEN SPACE REQUIRED DUE TO SETBACK REDUCTIONS ALONG SAN LORENZO	1327.80 SF x .5 = 663.90 SF	ARCADE ALONG LAGUNA ST. = 708 SF

**7 HEIGHT**

DESCRIPTION	REQUIRED/ ALLOWED	PROVIDED
FLOORS	NO MAX	10
MAX HEIGHT	120'	119'-7"
EXCLUSION FROM HEIGHT	ARCHITECTURAL ELEMENTS - 25'	17'-11"

**8 PARKING DATA**

DESCRIPTION	FACTOR	REQUIRED/ ALLOWED	PROVIDED
MULTI FAMILY - 3+ BEDROOMS	2.25 SPACES PER UNIT	13 x 2.25 = 29.25 SPACES	34 SPACES
RETAIL	1.0 SPACE PER 250 GROSS SF	3,529 SF / 250 = 14.12 SPACES 2 EXIST. STREET PARKING SPACES LOST	16 SPACES
TOTAL REQUIRED PARKING		43.37 SPACES	50 SPACES
LOADING	<100,000 SF = 0 SPACES	0 SPACES	1 SPACE
BICYCLE	5.0 SPACES PER 250 PARKING SPACES	5 SPACES	6 SPACES

**9 PERCENTAGE OF GROUND FLOOR OPENNESS**

DESCRIPTION	SOLIDS	OPENINGS	PERCENTAGE
SAN LORENZO AVENUE	1,566 SF	695 SF	44%
LAGUNA STREET	1,738 SF	661 SF	38%

**9 CORAL GABLES MEDITERRANEAN - LEVEL 1 BONUS**

1. ARCHITECTURAL ELEMENTS ON BUILDING FACADES - SIMILAR ON ALL FACADES, PARKING GARAGES SHALL INCLUDE COMPATIBLE TREATMENTS WITH STRUCTURES ON SAME PROPERTY.
2. ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL - DISPLAY WINDOWS, LANDSCAPING, ORNAMENTATION
3. ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF BUILDINGS - HEIGHT EXCLUSION FOR ORNAMENTAL ROOF STRUCTURES
4. BICYCLE STORAGE - PROVIDE 5 SPACES FOR EACH 250 PARKING SPACES
5. BUILDING FACADES - INCORPORATE VERTICAL BREAKS, STEPBACKS, OR VARIATIONS IN BULKMASSING AT A MIN. OF 100' INTERVALS
6. BUILDING LOT COVERAGE - NO MIN. OR MAX. REQUIRED
7. DRIVE THROUGH FACILITIES - N/A
8. LANDSCAPE OPEN SPACE - MIN. 10% FOR MIXD USE PROPERTIES
9. LIGHTING, STREET - LIGHTING SHALL BE PROVIDED ON ALL STREETS/R.O.W.
10. PARKING GARAGES - GROUND FLOOR PARKING NOT PERMITTED ON PRIMARY ST., PERMITTED ON SECONDARY ST. BUT SHALL BE FULLY ENCLOSED/SURROUNDED BY USES, PERMITTED ON ALLEY FRONTAGES.
11. PORTE COCHERES - N/A
12. SIDEWALKS/ PEDESTRIAN ACCESS - BUILDINGS SHALL HAVE MAIN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS.
13. SOIL, STRUCTURAL - SHALL BE UTILIZED WITH ALL R.O.W. LEVEL PLANTING AREAS WITH ROOT BARRIERS.
14. WINDOWS ON MEDITERRANEAN BUILDINGS - PROVIDE A MIN. WINDOW CASING DEPTH OF 4"



**OWNER**  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

**ARCHITECT**



791 Park of Commerce Blvd.  
Suite 400  
BOCA RATON, FLORIDA 33487  
(T) 561 988 4002  
(F) 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
**CONSULTANT**

**PROJECT TITLE**  
ONE MERRICK PARK

**PROJECT LOCATION**  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

**SUBMITTAL HISTORY**

**REGISTRATION**  
COPYRIGHT © 2015

**PROJECT NUMBER**  
1002804.00  
**CURRENT DOCUMENT STAGE**  
PLANNING AND ZONING  
**CURRENT ISSUE DATE**  
08/04/15  
**SHEET TITLE**  
PROJECT DATA

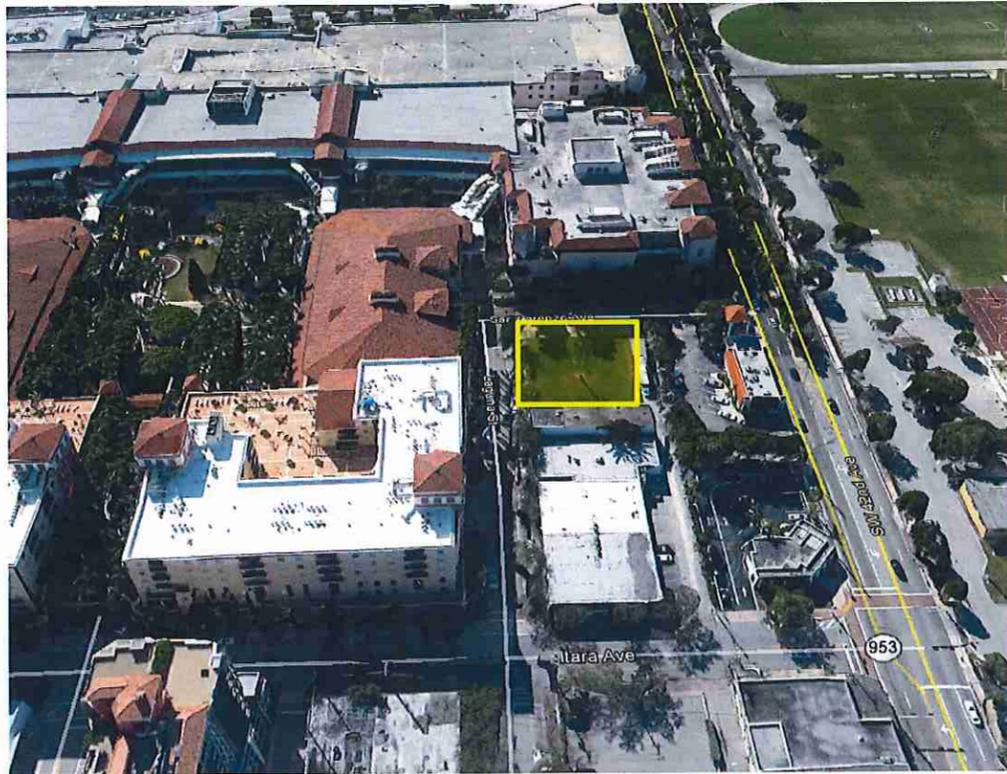
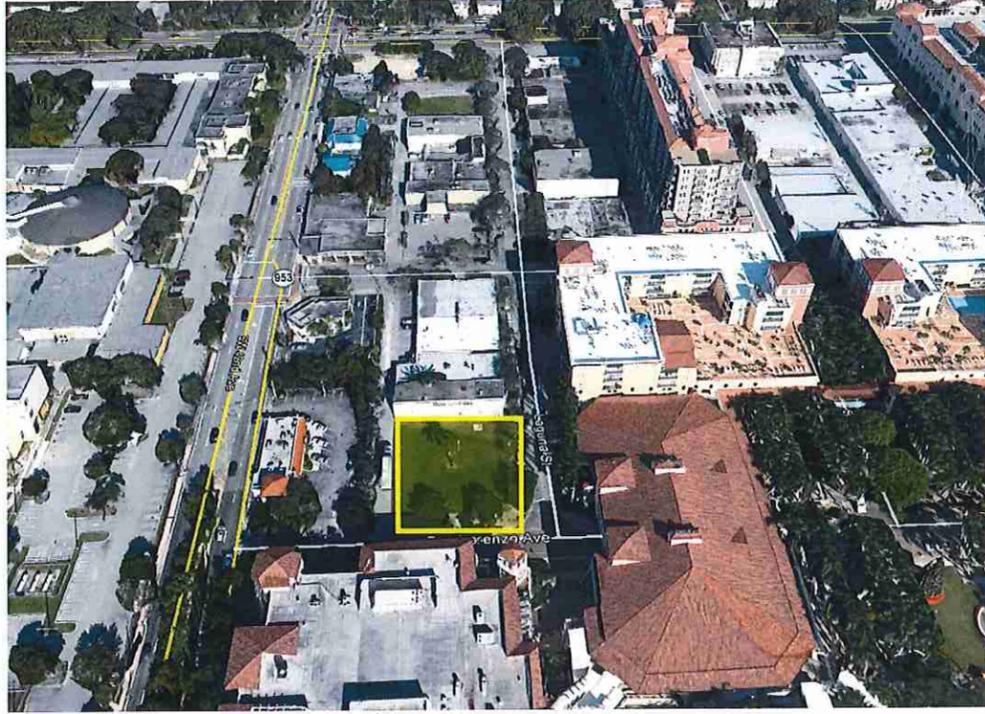
**SHEET NUMBER**

**A1.00**

Alexandria | Atlanta | Austin | Boca Raton | Boston | Dallas | Houston | Las Vegas | Los Angeles | Mexico City | New Orleans | New York | Phoenix | San Diego | San Francisco | Seattle | Tampa | Washington, DC

DATE: 08/04/15  
TIME: 11:13:44 AM  
DRAWN BY: JACOB  
CHECKED BY: JACOB

Aerials of Subject Property



351 San Lorenzo Avenue

South West Corner of Subject Property



South East Corner of Subject Property



351 San Lorenzo Avenue

Adjacent Property to the East



Adjacent Property to the South East



Village of Merrick Park

Adjacent Property to the South



Street View From Intersection at Le Jeune Rd and San Lorenzo Ave



Village of Merrick Park

Adjacent Property to the North



**4212 Laguna Street**

Property to the North



**4210 Laguna Street**

Property to the North End of Block on Laguna St

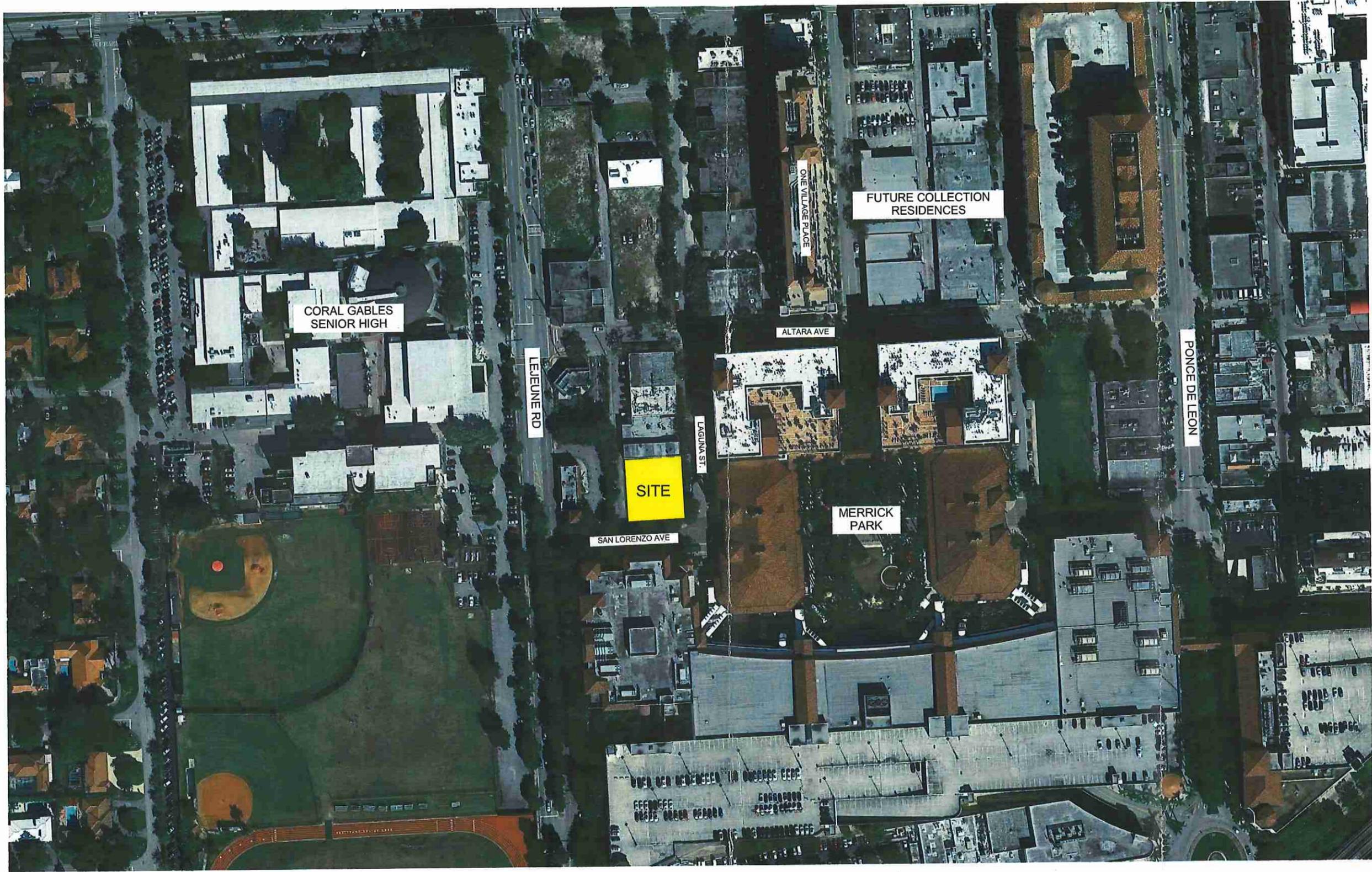


4200-4206 Laguna Street



Adjacent Property to the South

4231 S. Lejeune Road



AERIAL

1" = 80'-0"

1



OWNER  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT  
**PGAL**  
791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION  
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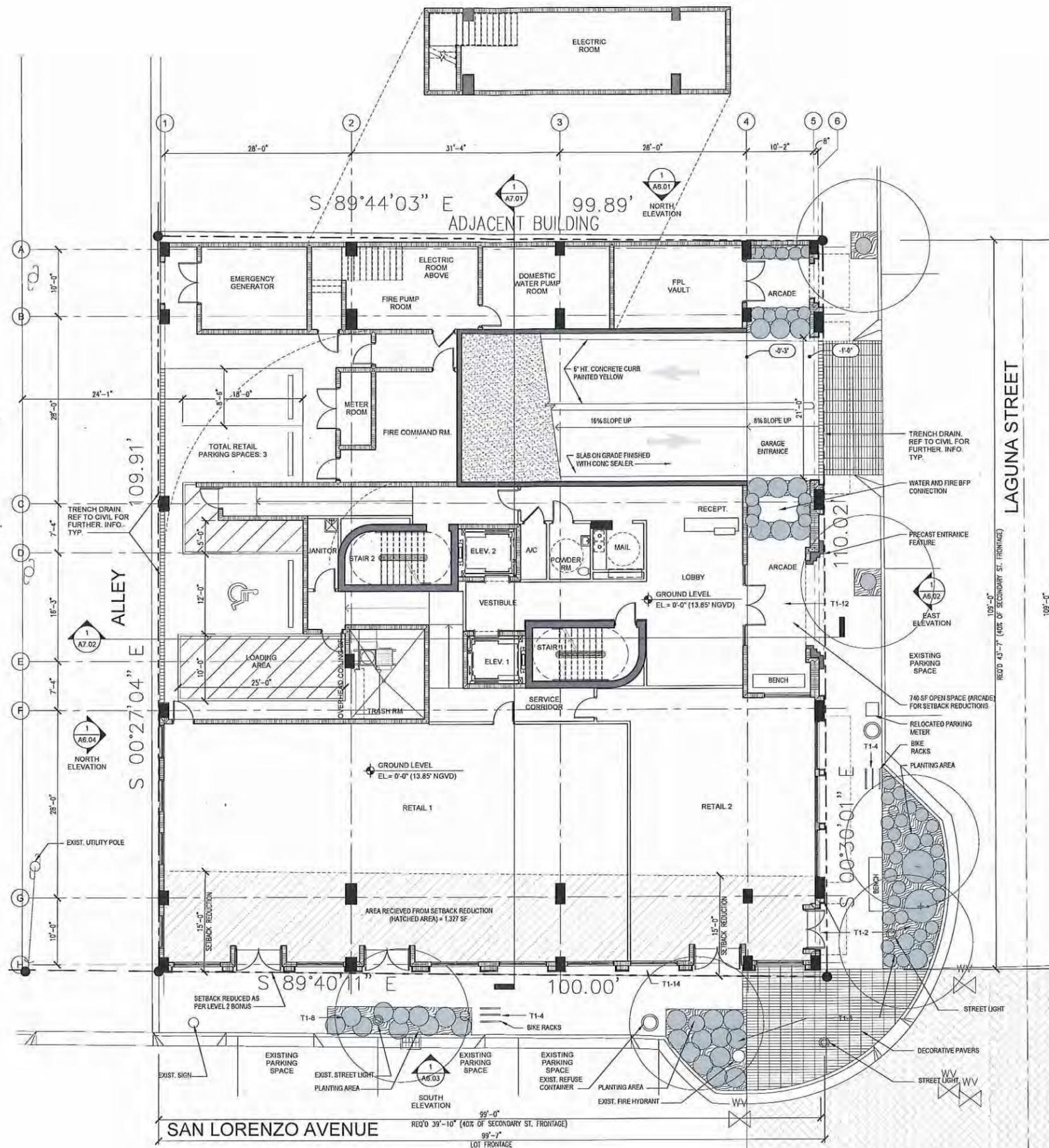
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CURRENT DOCUMENT STAGE  
PLANNING AND ZONING  
CURRENT ISSUE DATE  
08/04/15  
SHEET TITLE  
AERIAL

SHEET NUMBER  
**A1.02**

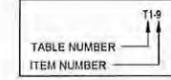
Pierce Goodwin Alexander & Linville | Mexico City | Los Angeles | New Orleans | Houston | Dallas | Boston | Boca Raton | Austin | Atlanta

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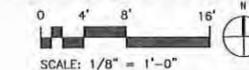


- MEDITERRANEAN BONUS REQUIREMENTS**  
TABLE 1 REQUIRED STANDARDS MUST COMPLY WITH ALL
1. ARCHITECTURAL ELEMENTS ON BUILDING FACADES - SIMILAR ON ALL FACADES. PARKING GARAGES SHALL INCLUDE COMPATIBLE TREATMENTS WITH STRUCTURES ON SAME PROPERTY.
  2. ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL - DISPLAY WINDOWS, LANDSCAPING, ORNAMENTATION
  3. ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF BUILDINGS - HEIGHT EXCLUSION FOR ORNAMENTAL ROOF STRUCTURES
  4. BICYCLE STORAGE - PROVIDE 5 SPACES FOR EACH 250 PARKING SPACES
  5. BUILDING FACADES - INCORPORATE VERTICAL BREAKS, STEPBACKS, OR VARIATIONS IN BULK/MASSING AT A MIN. OF 100' INTERVALS
  6. BUILDING LOT COVERAGE - NO MIN. OR MAX. REQUIRED
  7. DRIVE THROUGH FACILITIES - N/A
  8. LANDSCAPE OPEN SPACE - MIN. 10% FOR MXD USE PROPERTIES
  9. LIGHTING, STREET - LIGHTING SHALL BE PROVIDED ON ALL STREETS/R.O.W.
  10. PARKING GARAGES - GROUND FLOOR PARKING NOT PERMITTED ON PRIMARY ST., PERMITTED ON SECONDARY ST. BUT SHALL BE FULLY ENCLOSED/SURROUNDED BY USES, PERMITTED ON ALLEY FRONTAGES.
  11. PORTE COCHERES - N/A
  12. SIDEWALKS/ PEDESTRIAN ACCESS - BUILDINGS SHALL HAVE MAIN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS.
  13. SOIL, STRUCTURAL - SHALL BE UTILIZED WITHIN ALL R.O.W. LEVEL PLANTING AREAS WITH ROOT BARRIERS.
  14. WINDOWS ON MEDITERRANEAN BUILDINGS - PROVIDE A MIN. WINDOW CASING DEPTH OF 4"



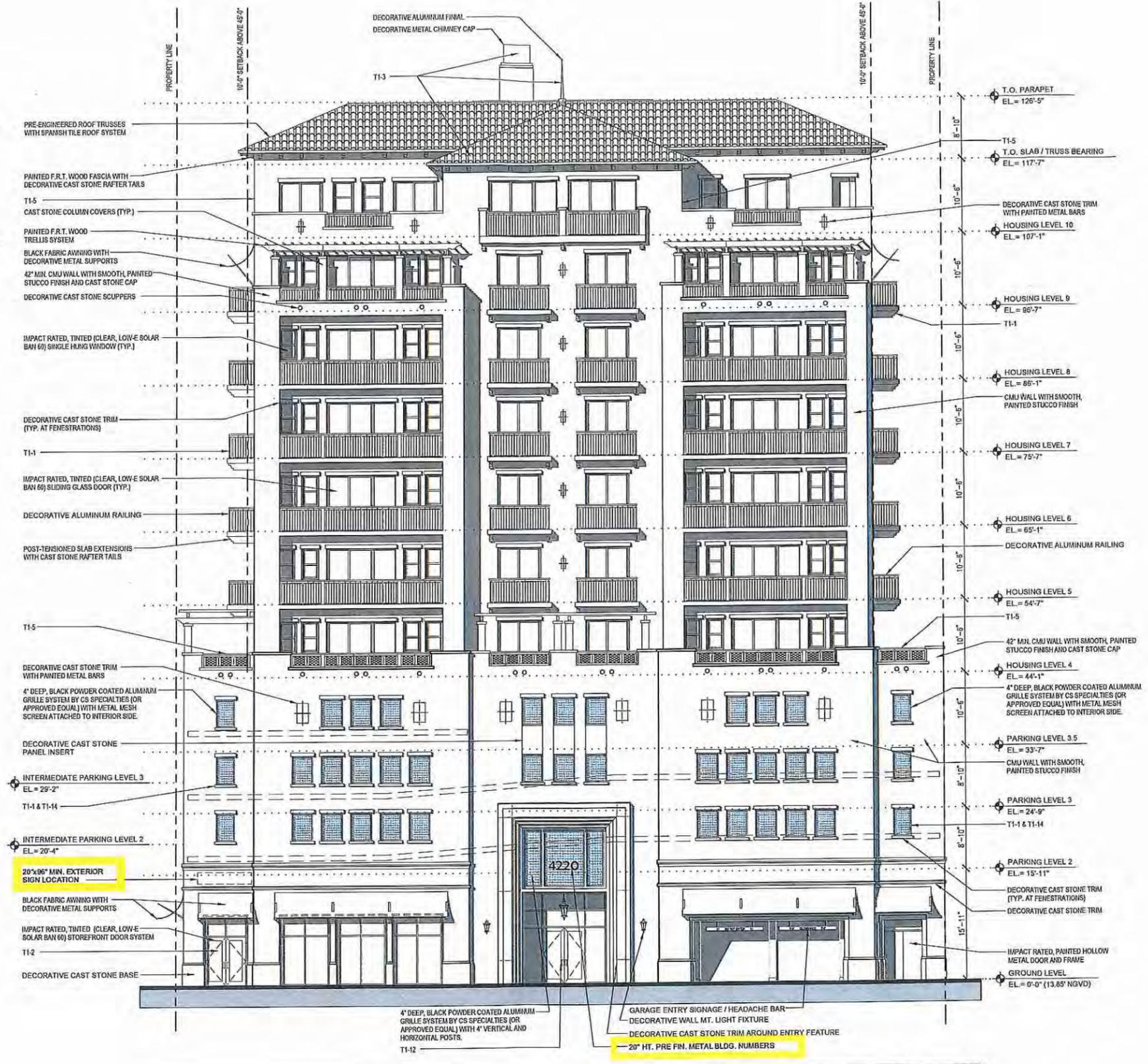
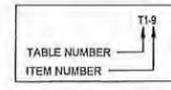
GROUND LEVEL SITE PLAN

1/8" = 1'-0" 1



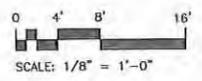
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EAST EXTERIOR ELEVATION

Building Signage Noted In Yellow

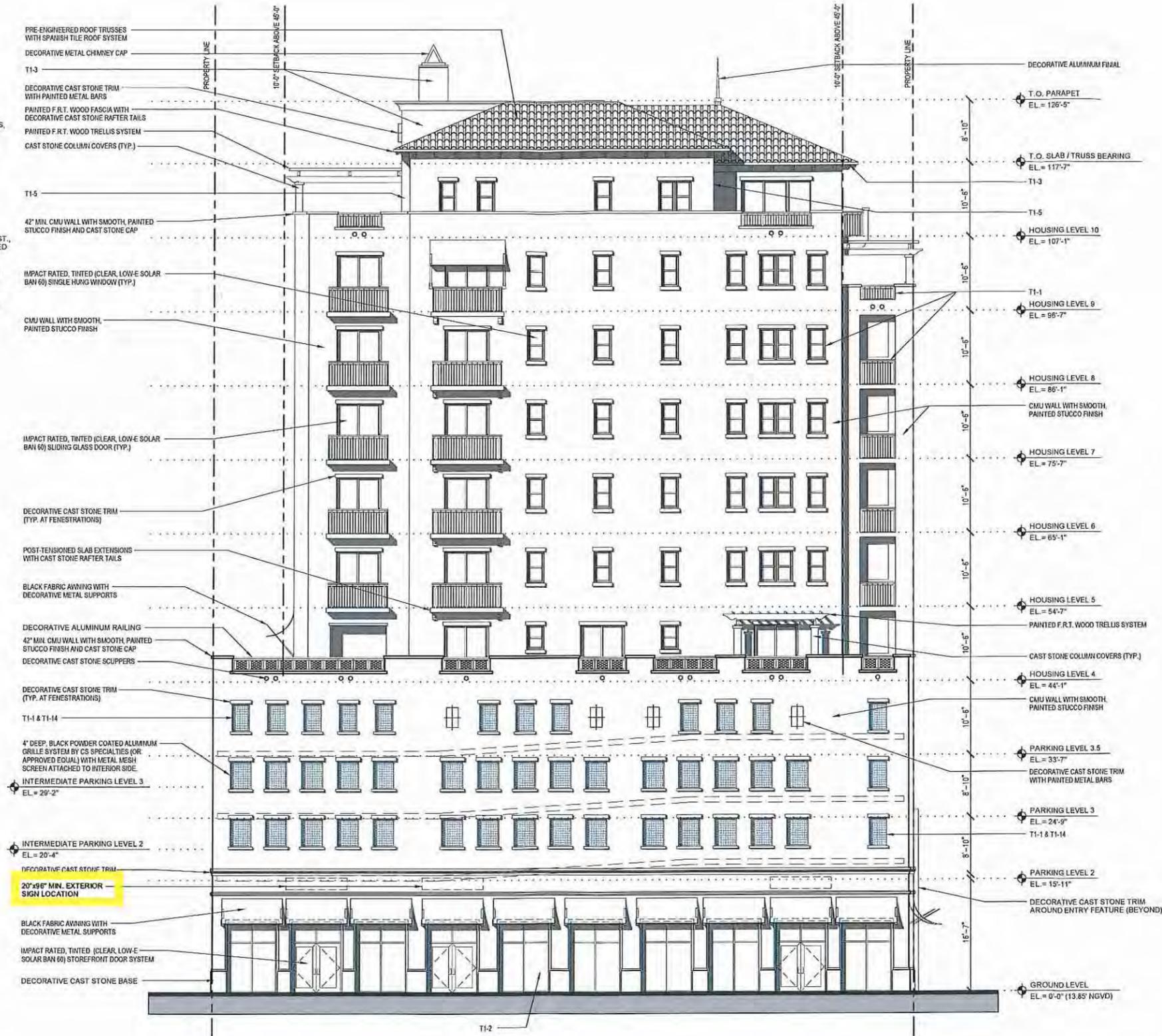
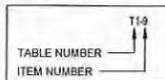


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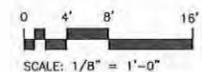
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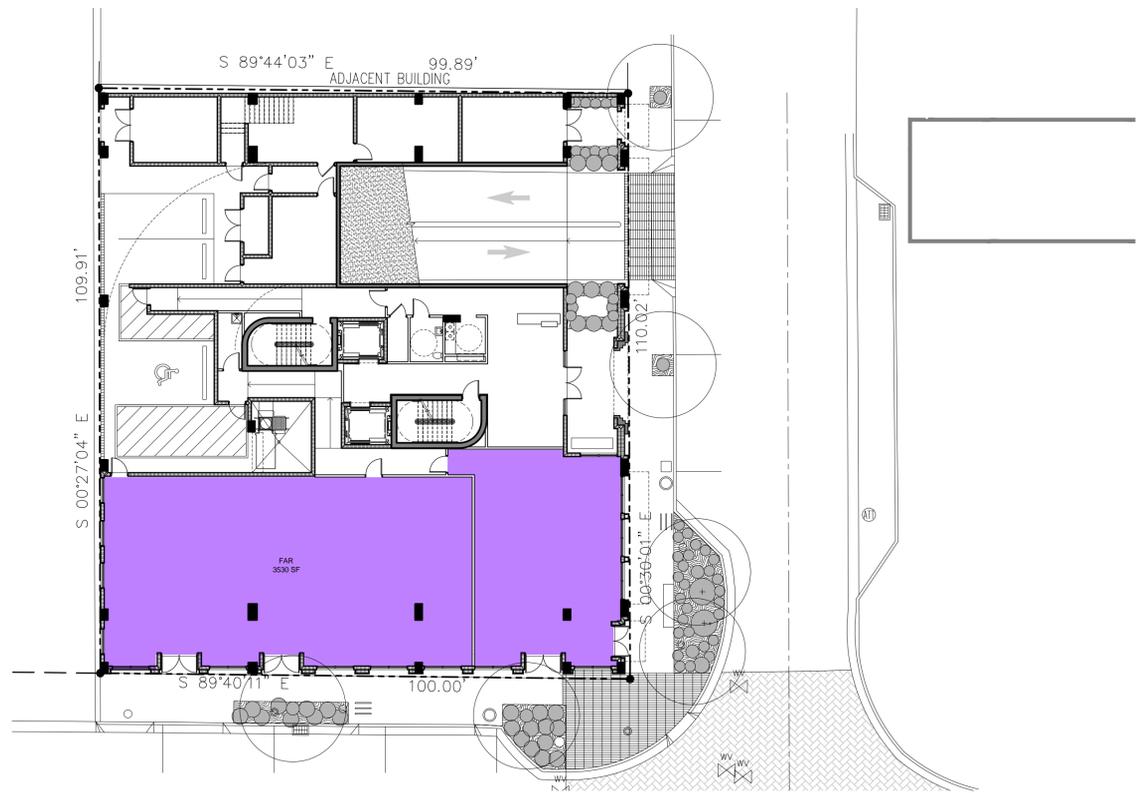
SOUTH EXTERIOR ELEVATION

1/8" = 1'-0" 1

Building Signage Noted In Yellow

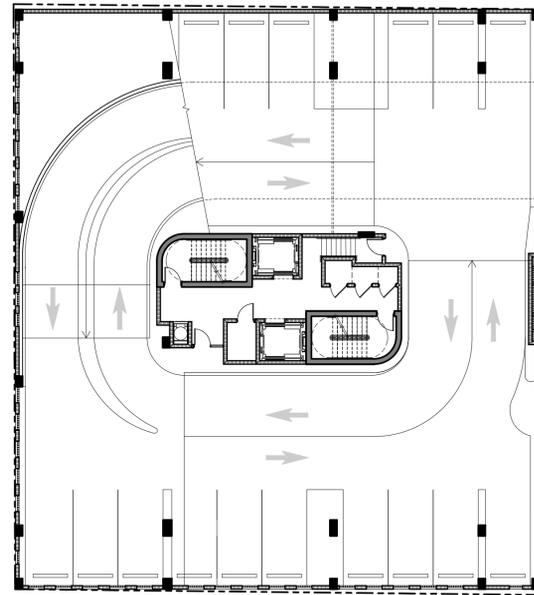


DATE: 08/04/15  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
SCALE: 1/8" = 1'-0"



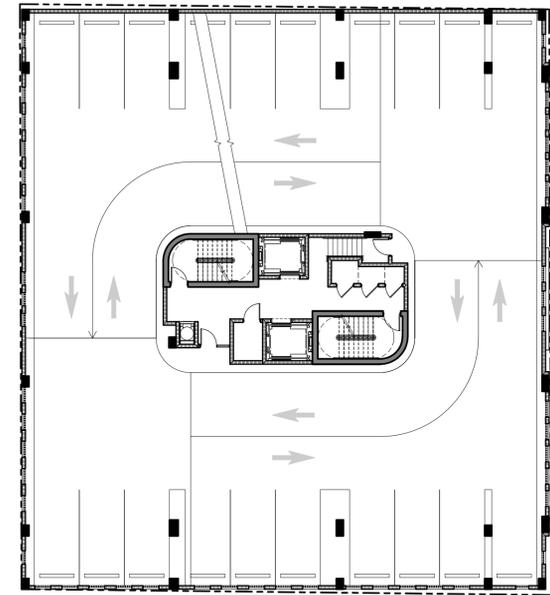
GROUND LEVEL

1/16" = 1'-0" 1



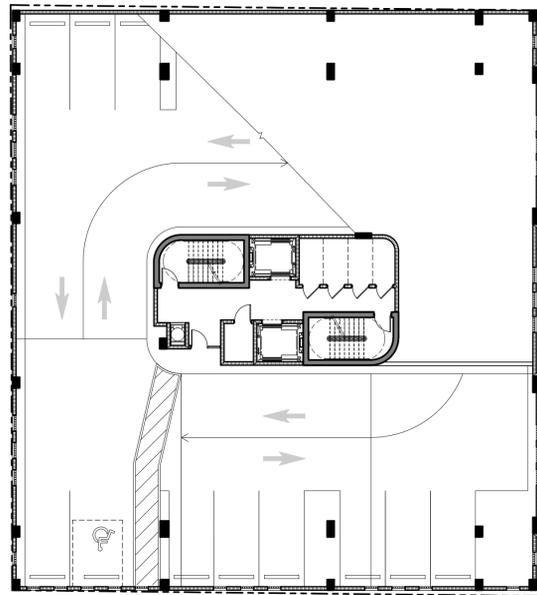
LEVEL 2

1/16" = 1'-0" 2



LEVEL 3

1/16" = 1'-0" 3



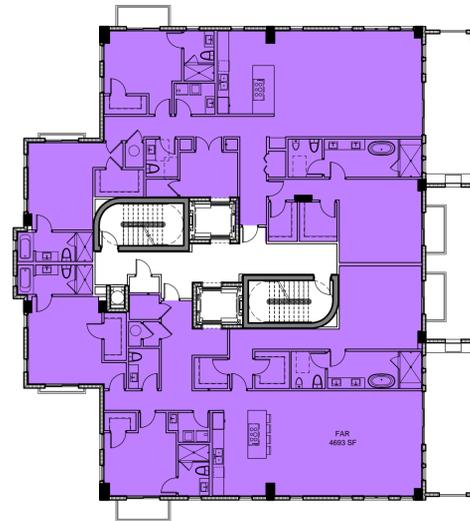
LEVEL 3.5

1/16" = 1'-0" 4



LEVEL 4 - LANAI

1/16" = 1'-0" 5



LEVELS (5-9) - TYPICAL

1/16" = 1'-0" 6



LEVEL 10 - PH

1/16" = 1'-0" 7

**F.A.R. AREAS**

GROUND LEVEL	3,530 SF	x 1 =	3,530 SF
LEVEL 4	4,624 SF	x 1 =	4,624 SF
LEVELS 5-9	5,247 SF	x 5 =	26,235 SF
LEVEL 10	3,474 SF	x 1 =	3,474 SF
<b>TOTAL</b>	<b>16,875 SF</b>		<b>37,863 SF</b>
<b>MAX ALLOWED</b>			<b>38,494 SF</b>



OWNER  
LAGUNA MERRICK, LLC  
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MIAMI, FL 33126

ARCHITECT  
**PGAL**  
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SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
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CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION  
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PROJECT NUMBER  
1002804.00  
CURRENT DOCUMENT STAGE  
PLANNING AND ZONING  
CURRENT ISSUE DATE  
08/04/15  
SHEET TITLE  
FLOOR AREA RATIO PLAN

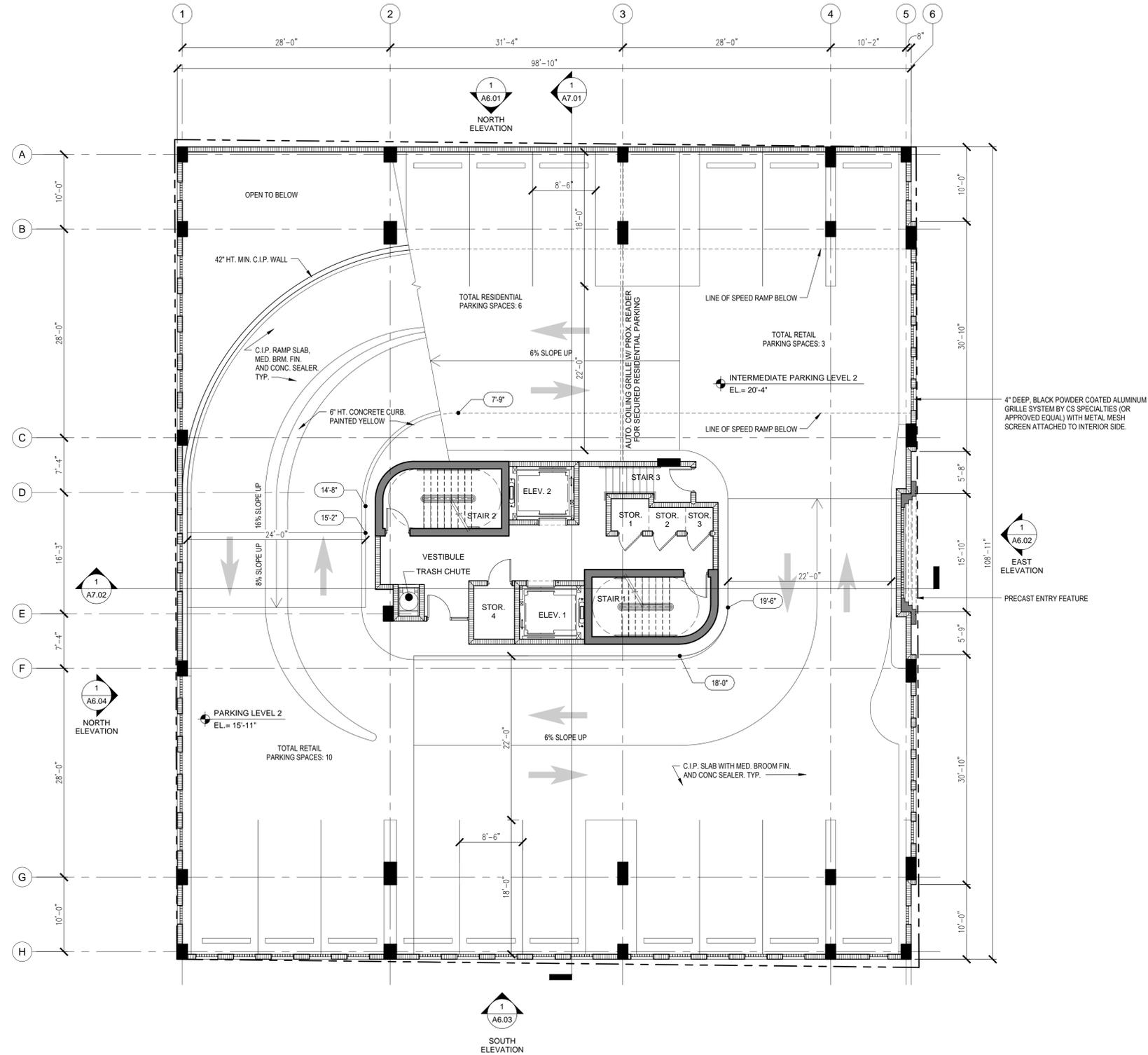
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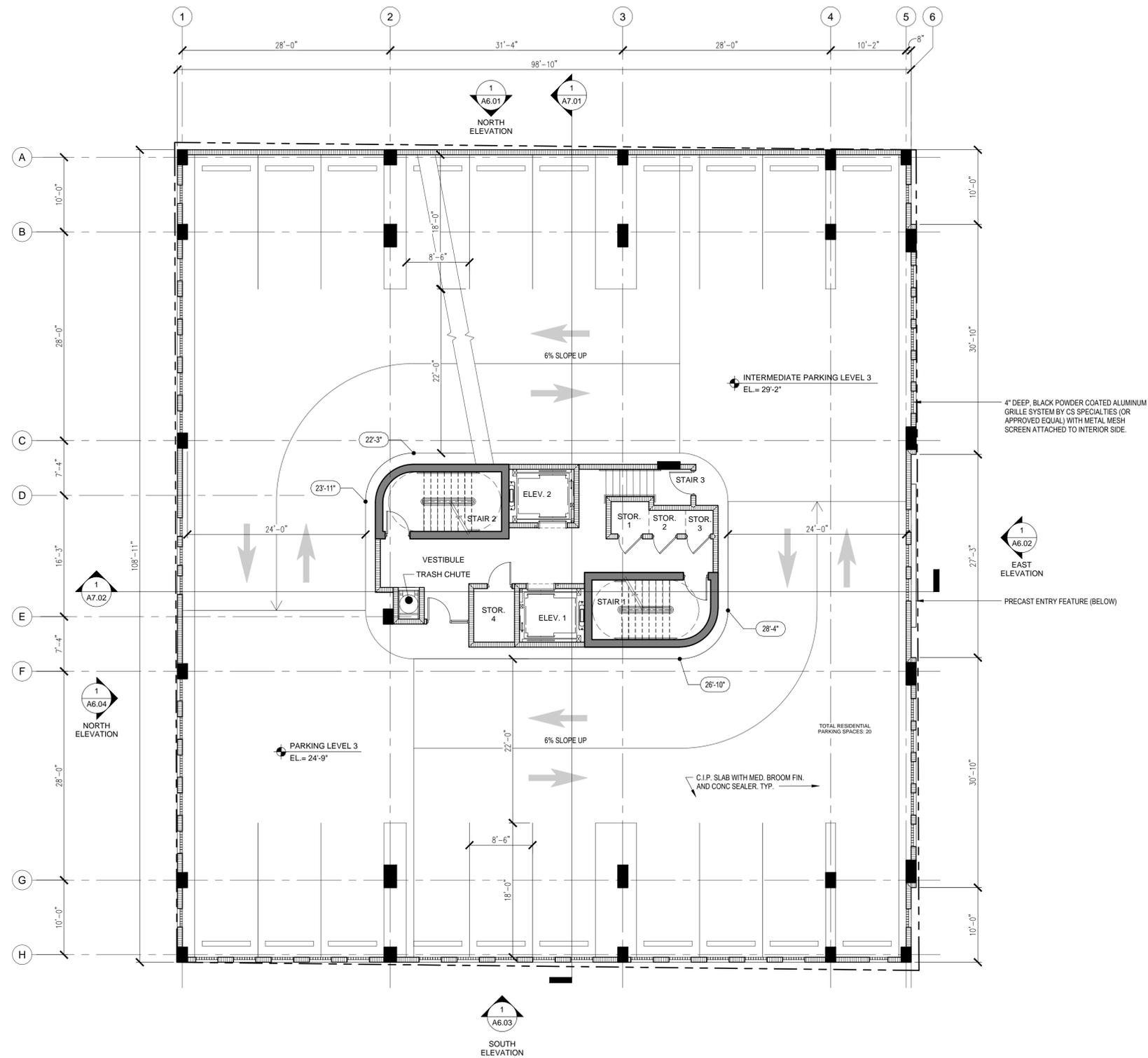
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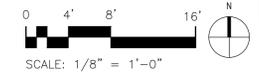
Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Las Vegas | Houston | Dallas | Boston | Boca Raton | Atlanta | Alexandria

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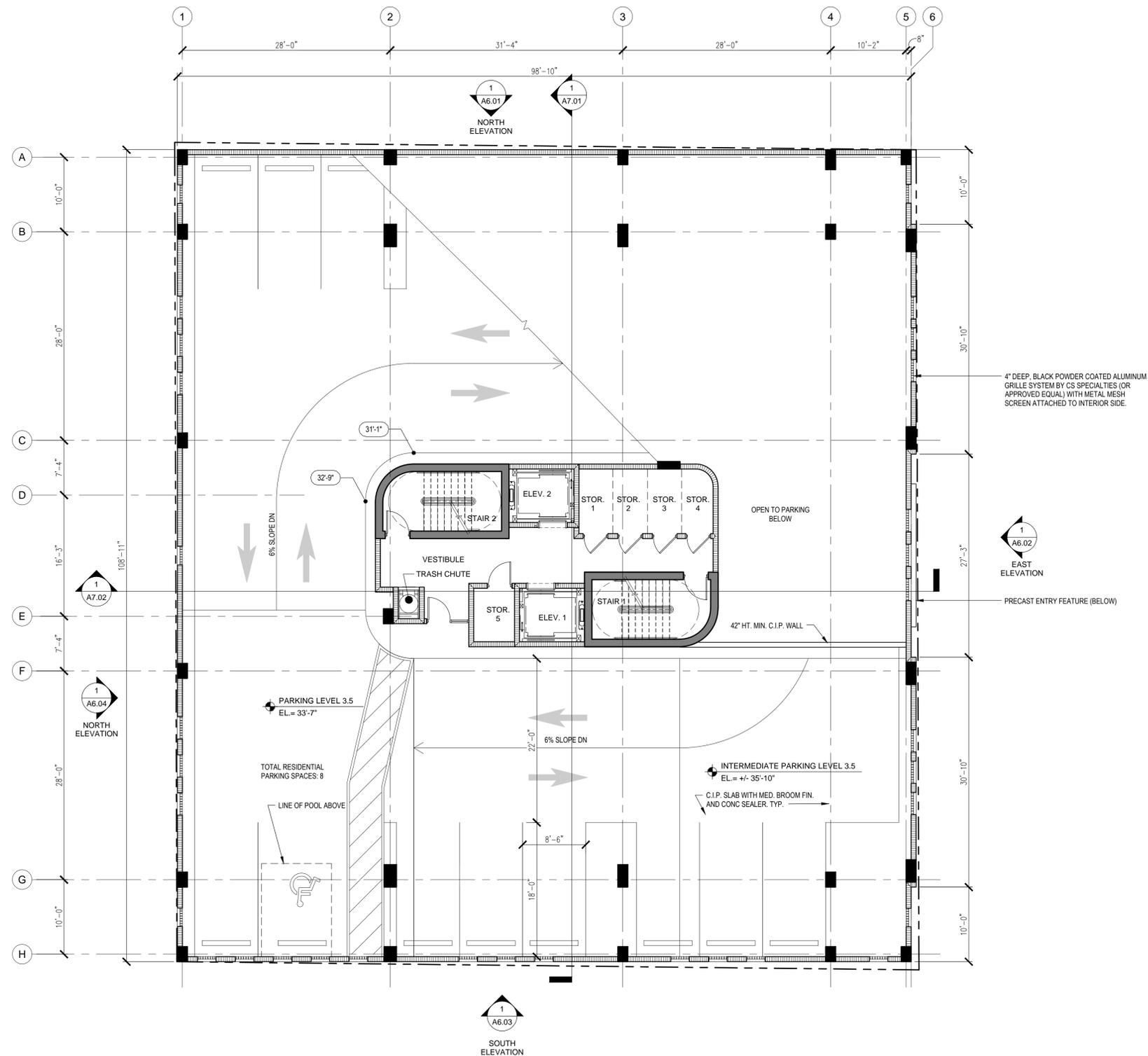
LEVEL 3 PARKING FLOOR PLAN

1/8" = 1'-0" 1



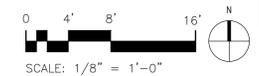
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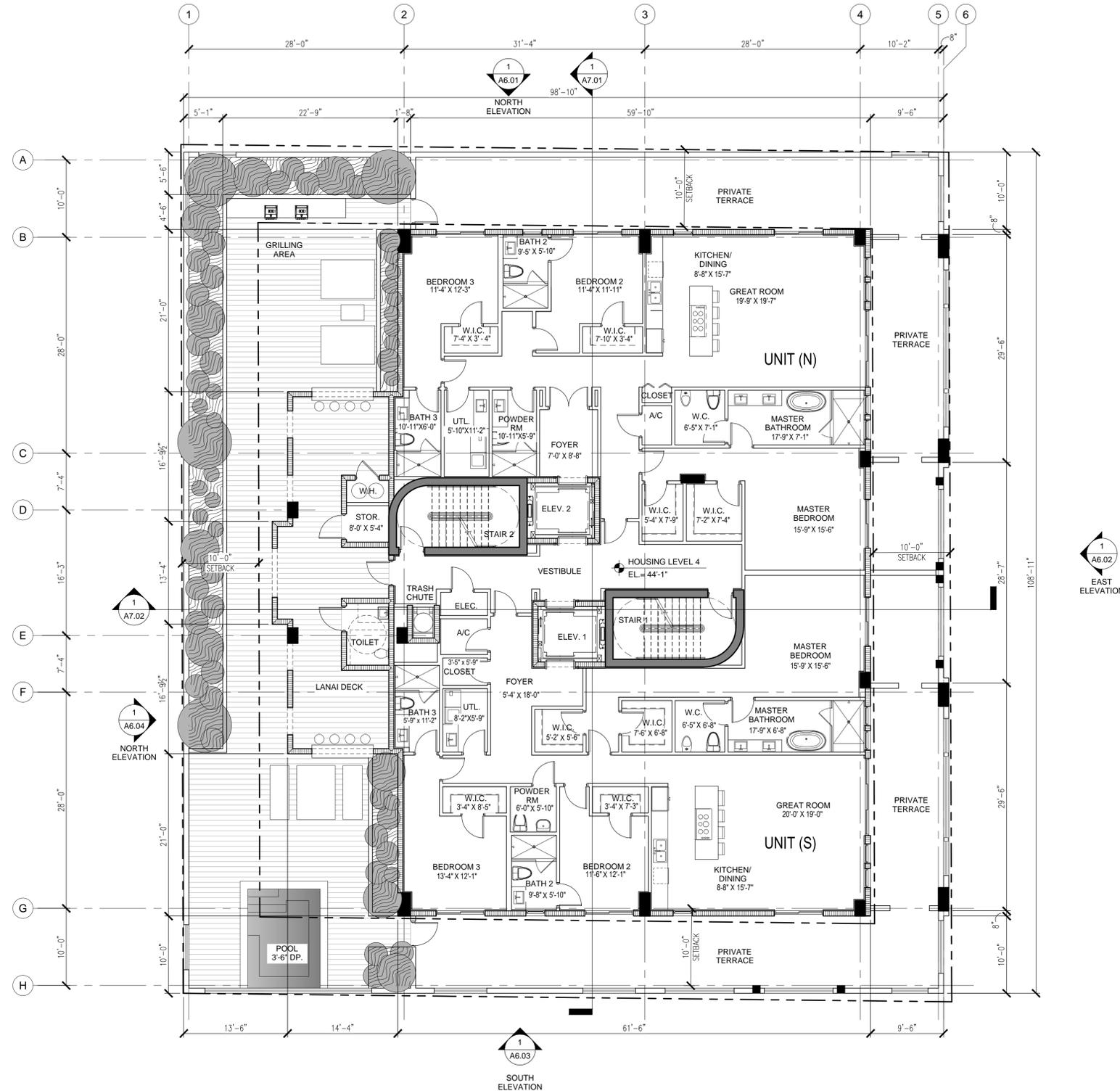
LEVEL 3.5 PARKING FLOOR PLAN

1/8" = 1'-0" 1



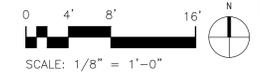
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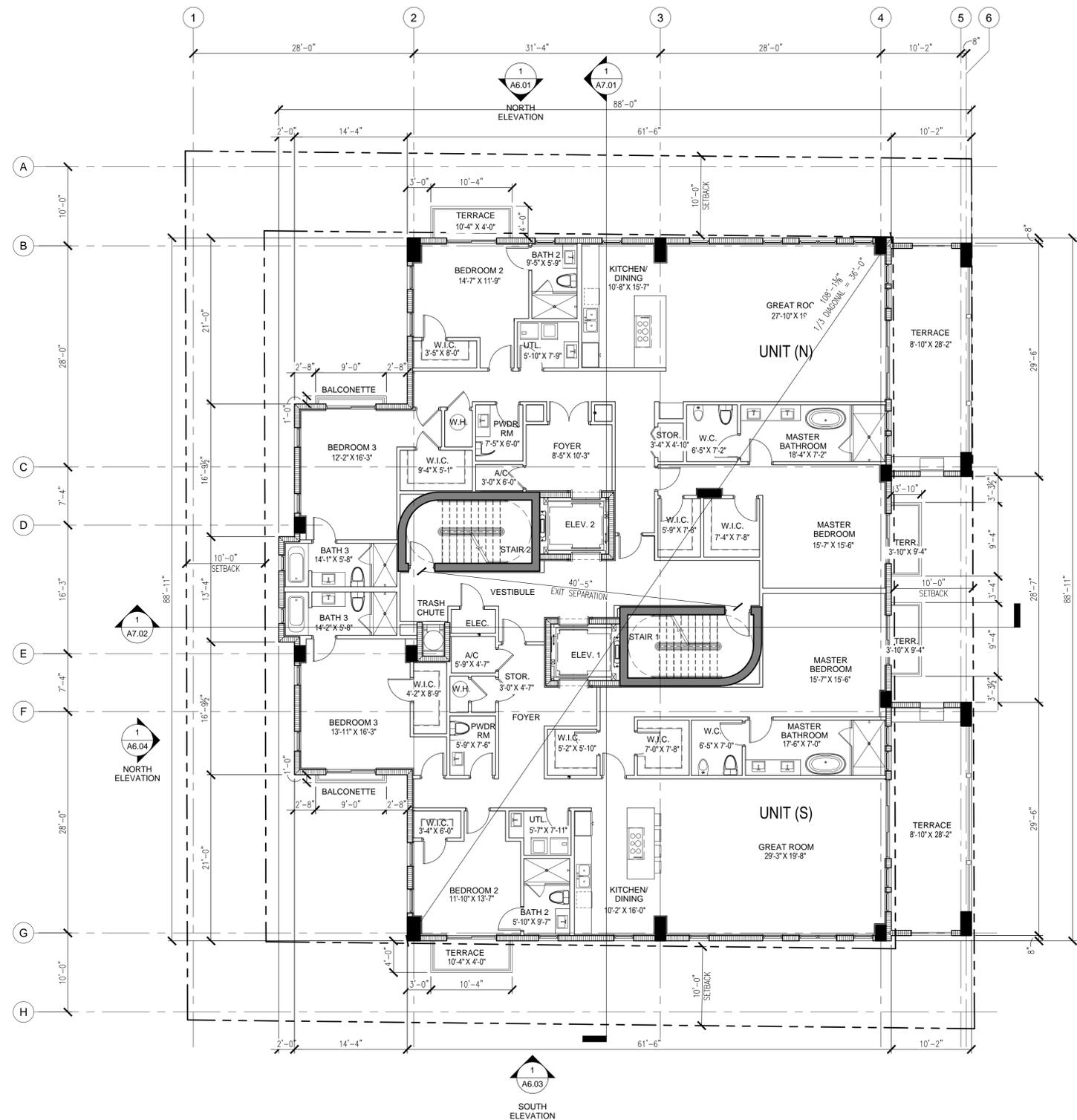
LEVEL 4 FLOOR PLAN

1/8" = 1'-0" 1



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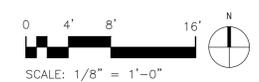


- HOUSING LEVEL 9  
EL. = 96'-7"
- HOUSING LEVEL 8  
EL. = 86'-1"
- HOUSING LEVEL 7  
EL. = 75'-7"
- HOUSING LEVEL 6  
EL. = 65'-1"
- HOUSING LEVEL 5  
EL. = 54'-7"



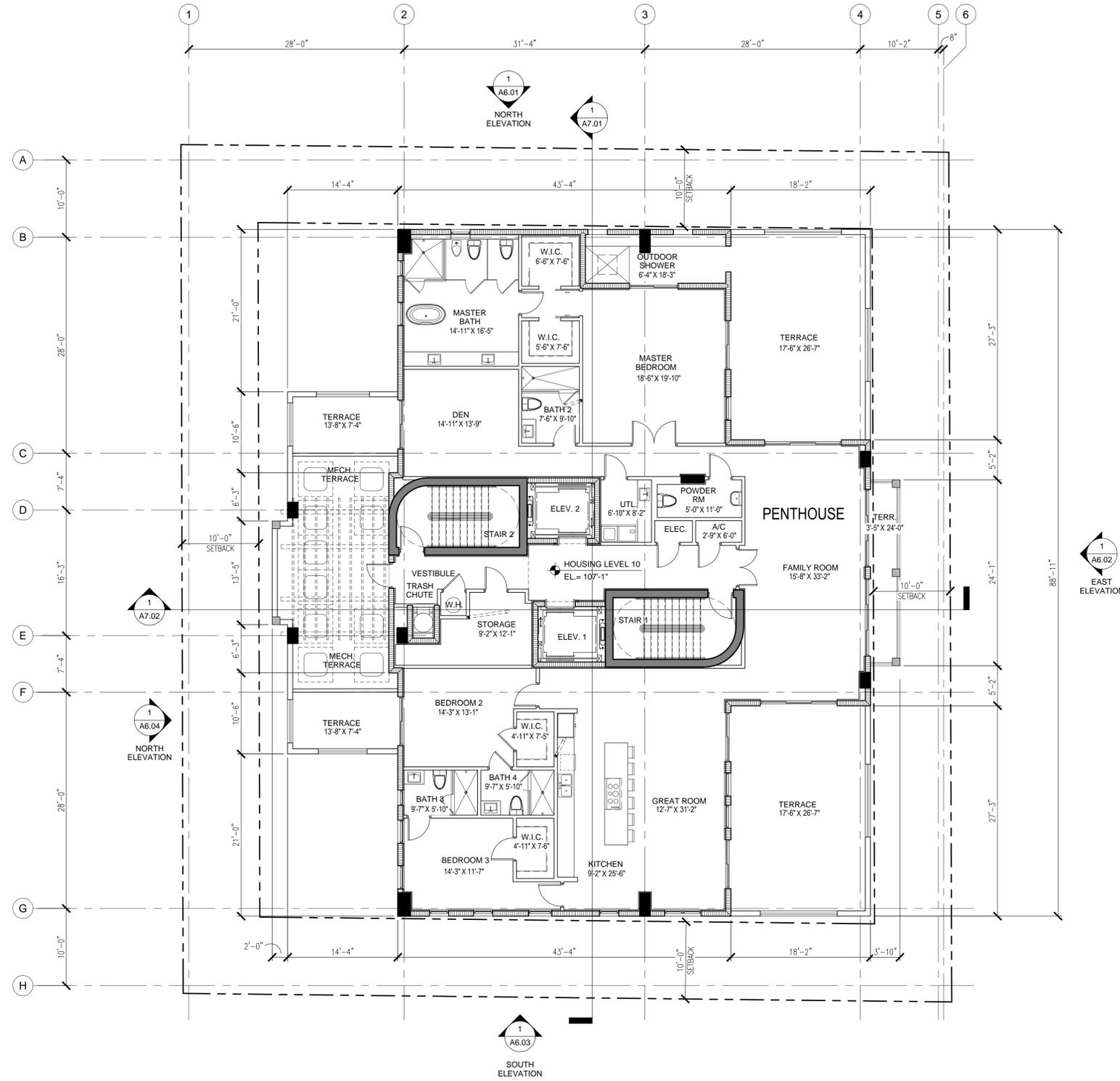
TYPICAL LEVELS 5 THRU 9 FLOOR PLAN

1/8" = 1'-0" 1



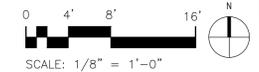
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 PLOT SCALE: 1/8" = 1'-0"

Alexandria | Atlanta | Austin | Boca Raton | Boston | Dallas | Dallas | Houston | Las Vegas | Los Angeles | Mexico City | New Orleans | Phoenix | San Antonio | San Diego | San Francisco | Seattle | Tampa | Washington, DC



LEVEL 10 FLOOR PLAN

1/8" = 1'-0" 1



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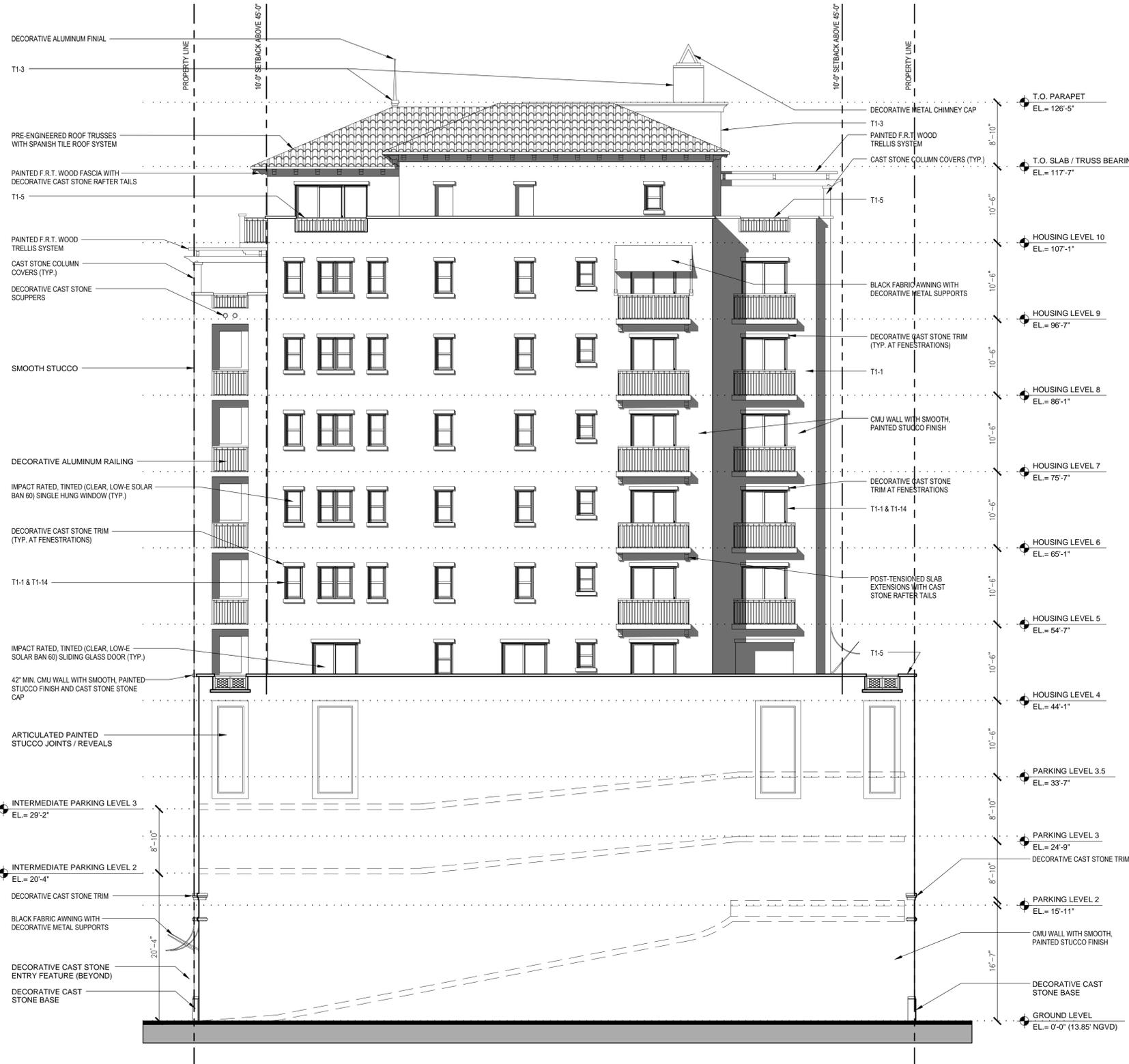
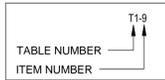
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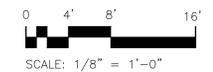
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**NORTH EXTERIOR ELEVATION**

1/8" = 1'-0" **1**

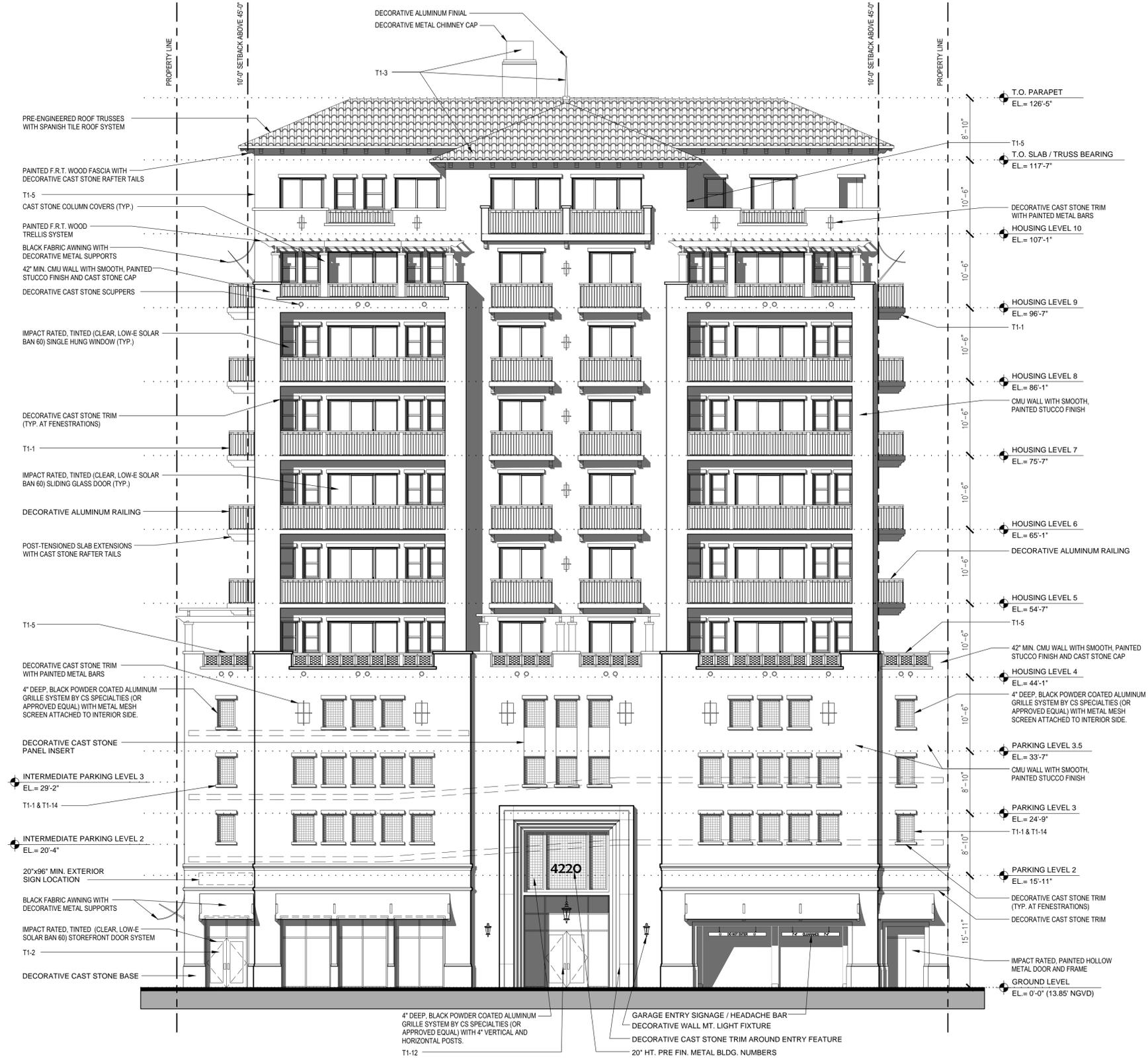
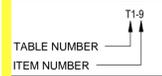


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 PLOT BY: JACOB

Building Signage Noted in Yellow

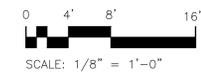
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**EAST EXTERIOR ELEVATION**

1/8" = 1'-0" **1**



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MIAMI, FL 33126

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www.pgal.com  
**CONSULTANT**

**PROJECT TITLE**  
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351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

**SUBMITTAL HISTORY**

**REGISTRATION**  
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**PROJECT NUMBER**  
1002804.00

**CURRENT DOCUMENT STAGE**  
PLANNING AND ZONING

**CURRENT ISSUE DATE**  
08/04/15

**SHEET TITLE**  
EAST EXTERIOR ELEVATION

**SHEET NUMBER**  
**A6.02**

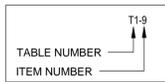
Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Houston | Dallas | Boston | Boca Raton | Atlanta | Alexandria

Signage to be approved by separate permit in accordance with City approval



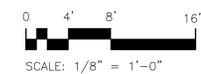
**MEDITERRANEAN BONUS REQUIREMENTS**  
**TABLE 1 REQUIRED STANDARDS MUST COMPLY WITH ALL**

1. ARCHITECTURAL ELEMENTS ON BUILDING FACADES - SIMILAR ON ALL FACADES, PARKING GARAGES SHALL INCLUDE COMPATIBLE TREATMENTS WITH STRUCTURES ON SAME PROPERTY.
2. ARCHITECTURAL RELIEF ELEMENTS AT STREET LEVEL - DISPLAY WINDOWS, LANDSCAPING, ORNAMENTATION
3. ARCHITECTURAL ELEMENTS LOCATED ON THE TOP OF BUILDINGS - HEIGHT EXCLUSION FOR ORNAMENTAL ROOF STRUCTURES
4. BICYCLE STORAGE - PROVIDE 5 SPACES FOR EACH 250 PARKING SPACES
5. BUILDING FACADES - INCORPORATE VERTICAL BREAKS, STEPBACKS, OR VARIATIONS IN BULKMASSING AT A MIN. OF 100' INTERVALS
6. BUILDING LOT COVERAGE - NO MIN. OR MAX. REQUIRED
7. DRIVE THROUGH FACILITIES - N/A
8. LANDSCAPE OPEN SPACE - MIN. 10% FOR MXD USE PROPERTIES
9. LIGHTING, STREET - LIGHTING SHALL BE PROVIDED ON ALL STREETS/R.O.W.
10. PARKING GARAGES - GROUND FLOOR PARKING NOT PERMITTED ON PRIMARY ST., PERMITTED ON SECONDARY ST. BUT SHALL BE FULLY ENCLOSED/ SURROUNDED BY USES, PERMITTED ON ALLEY FRONTAGES.
11. PORTE COCHERES - N/A
12. SIDEWALKS/ PEDESTRIAN ACCESS - BUILDINGS SHALL HAVE MAIN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS.
13. SOIL, STRUCTURAL - SHALL BE UTILIZED WITHIN ALL R.O.W. LEVEL PLANTING AREAS WITH ROOT BARRIERS.
14. WINDOWS ON MEDITERRANEAN BUILDINGS - PROVIDE A MIN. WINDOW CASING DEPTH OF 4"



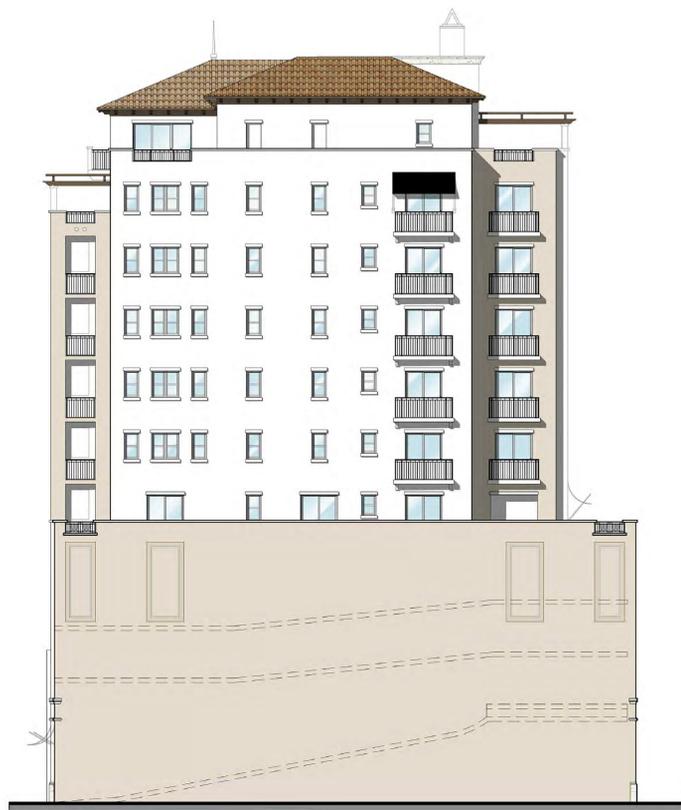
WEST EXTERIOR ELEVATION

1/8" = 1'-0" 1



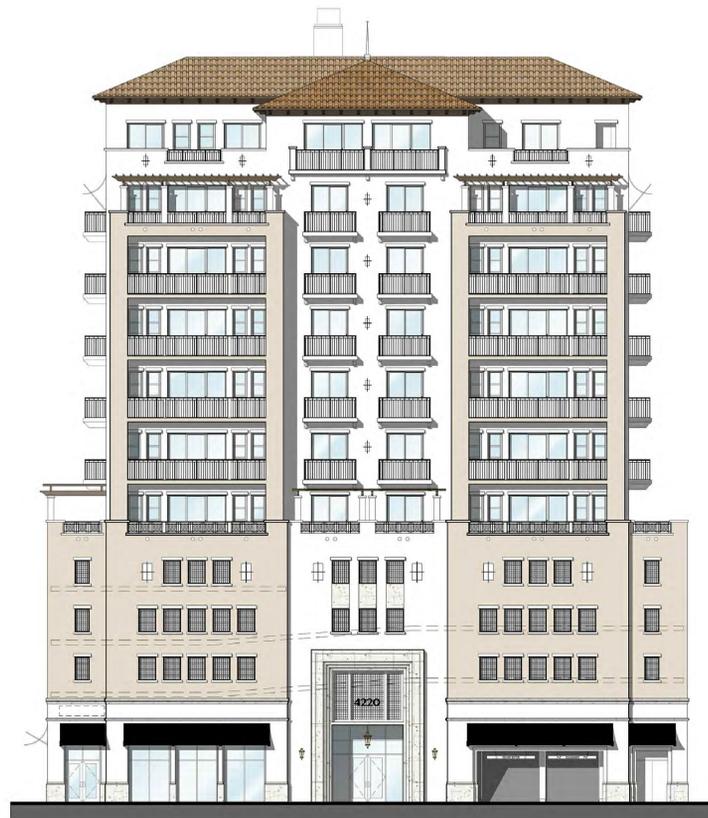
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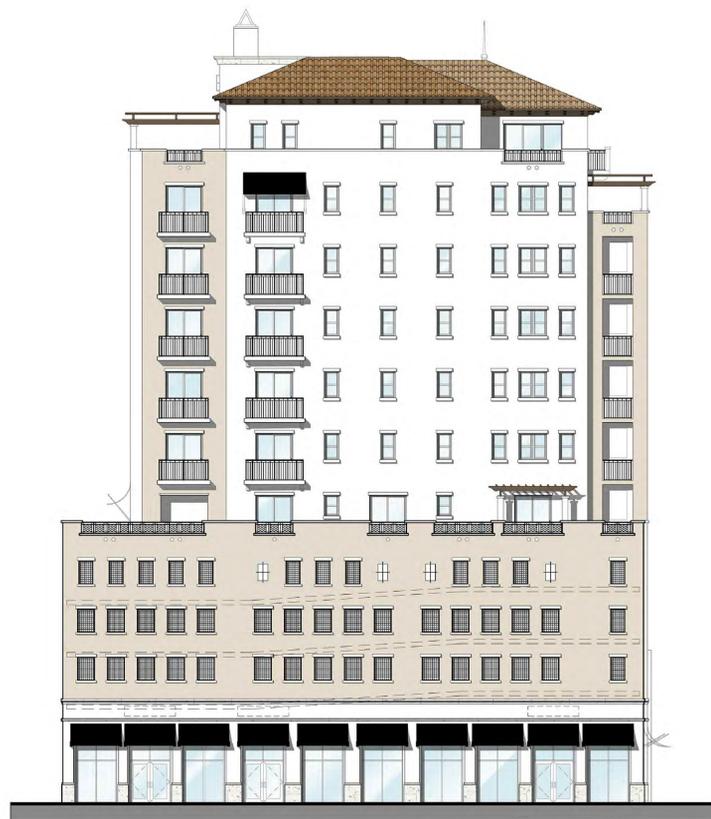
N.T.S. ④



EAST ELEVATION

N.T.S. ②

-  SHERWIN WILLIAMS SW7004 SNOWBOUND
-  SHERWIN WILLIAMS SW6106 KILIM BEIGE
-  SHERWIN WILLIAMS SW 6991 BLACK MAGIC



SOUTH ELEVATION

N.T.S. ③



WEST ELEVATION

N.T.S. ①



OWNER  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT  
**PGAL**  
791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION  
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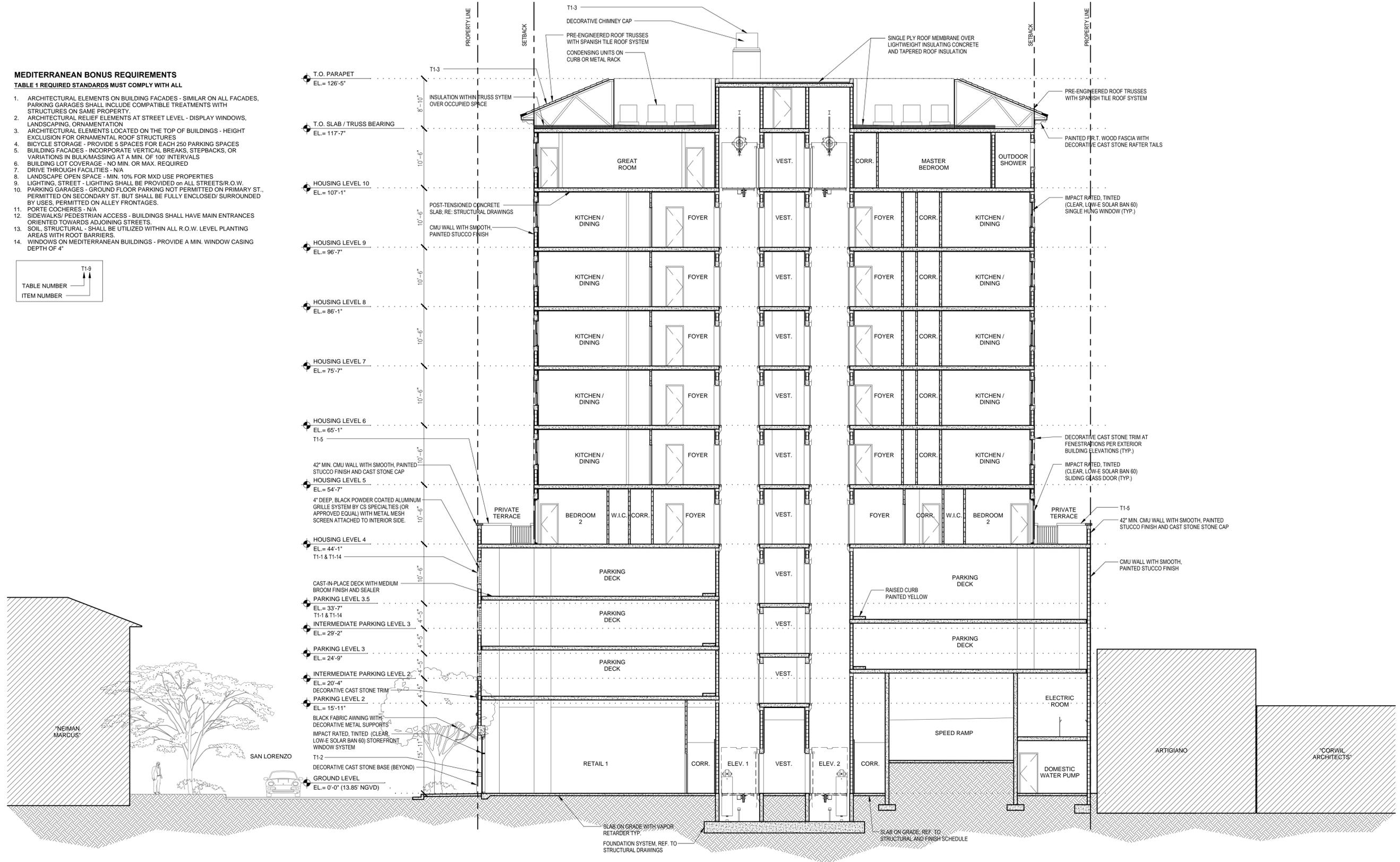
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SHEET TITLE  
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ELEVATIONS

SHEET NUMBER  
**A6.20**

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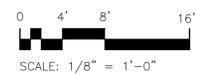
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- MEDITERRANEAN BONUS REQUIREMENTS**  
TABLE 1 REQUIRED STANDARDS MUST COMPLY WITH ALL
1. ARCHITECTURAL ELEMENTS ON BUILDING FACADES - SIMILAR ON ALL FACADES. PARKING GARAGES SHALL INCLUDE COMPATIBLE TREATMENTS WITH STRUCTURES ON SAME PROPERTY.
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  6. BUILDING LOT COVERAGE - NO MIN. OR MAX. REQUIRED
  7. DRIVE THROUGH FACILITIES - N/A
  8. LANDSCAPE OPEN SPACE - MIN. 10% FOR MXD USE PROPERTIES
  9. LIGHTING, STREET - LIGHTING SHALL BE PROVIDED ON ALL STREETS/R.O.W.
  10. PARKING GARAGES - GROUND FLOOR PARKING NOT PERMITTED ON PRIMARY ST. PERMITTED ON SECONDARY ST. BUT SHALL BE FULLY ENCLOSED/SURROUNDED BY USES, PERMITTED ON ALLEY FRONTAGES.
  11. PORTE COCHERES - N/A
  12. SIDEWALKS/ PEDESTRIAN ACCESS - BUILDINGS SHALL HAVE MAIN ENTRANCES ORIENTED TOWARDS ADJOINING STREETS.
  13. SOIL, STRUCTURAL - SHALL BE UTILIZED WITHIN ALL R.O.W. LEVEL PLANTING AREAS WITH ROOT BARRIERS.
  14. WINDOWS ON MEDITERRANEAN BUILDINGS - PROVIDE A MIN. WINDOW CASING DEPTH OF 4"



NORTH / SOUTH BUILDING SECTION

1/8" = 1'-0" 1

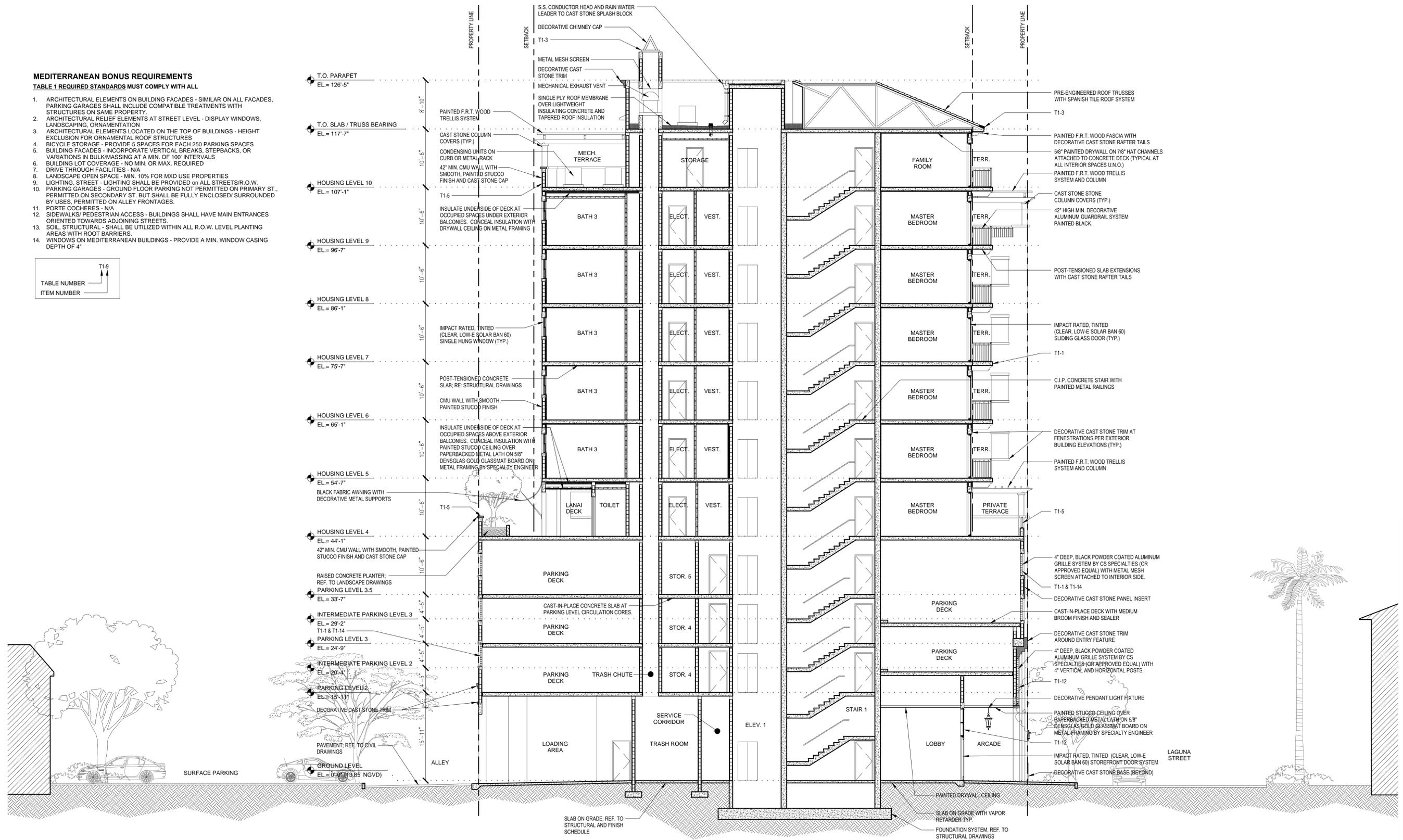
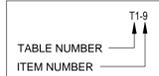


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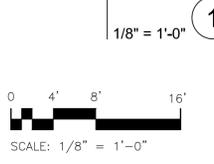
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**MEDITERRANEAN BONUS REQUIREMENTS**  
TABLE 1 REQUIRED STANDARDS MUST COMPLY WITH ALL

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**EAST / WEST BUILDING SECTION**



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LAST PLOTTED: 8/4/2015 9:45:54 AM



OWNER

LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT

**PGAL**

791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com

CONSULTANT

PROJECT TITLE

ONE MERRICK PARK

PROJECT LOCATION

351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION

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PROJECT NUMBER

1002804.00

CURRENT DOCUMENT STAGE

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CURRENT ISSUE DATE

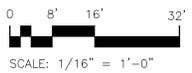
08/04/15

SHEET TITLE

SITE SECTION

SHEET NUMBER

**A1.07**



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SOUTHWEST CONTEXT VIEW

N.T.S. 1



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NORTHEAST CONTEXT VIEW

N.T.S. 1



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LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126



ARCHITECT  
791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

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1002804.00  
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SHEET TITLE  
NORTHEAST  
CONTEXT VIEW

SHEET NUMBER

A6.11

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SHEET: A6.11

Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Las Vegas | Houston | Dallas | Boston | Boca Raton | Alexandria | Atlanta

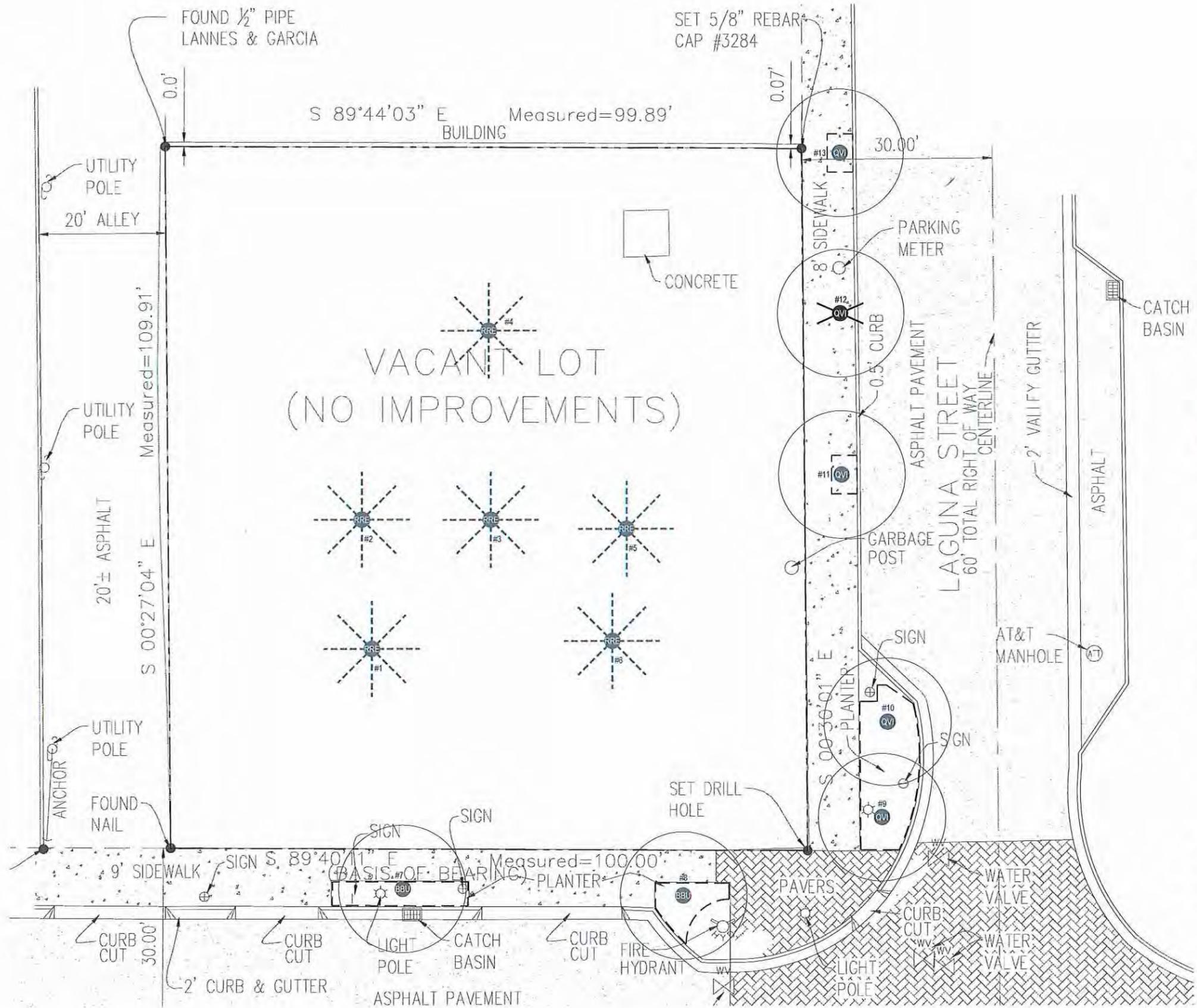


CONTEXT PLAN

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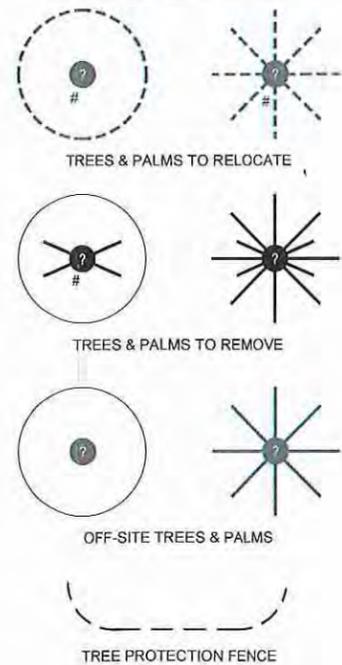
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 LOCATION  
 351 SAN LORENZO AVE  
 CORAL GABLES, FL 33146  
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 DATE



**TREE DISPOSITION LIST**

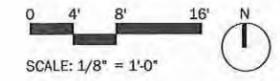
Num.	Abbr.	Botanical Name	Common Name	DBH	Height	Canopy	Disposition - Notes
1	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
2	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
3	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
4	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
5	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
6	RRE	Roystonea regia	Cuban Royal Palm	20"	40'	15'	Relocate Off-Site
7	BBU	Bucida buceras	Black Olive Tree	9"	20'	20'	Remain in R.O.W.
8	BBU	Bucida buceras	Black Olive Tree	9"	20'	20'	Remain in R.O.W.
9	QVI	Quercus virginiana	Live Oak	10"	25'	20'	Remain in R.O.W.
10	QVI	Quercus virginiana	Live Oak	10"	25'	20'	Remain in R.O.W.
11	QVI	Quercus virginiana	Live Oak	10"	25'	20'	Remain in R.O.W.
12	QVI	Quercus virginiana	Live Oak	10"	25'	20'	Remove
13	QVI	Quercus virginiana	Live Oak	10"	25'	20'	Remain in R.O.W.

**TREE SYMBOL LEGEND**



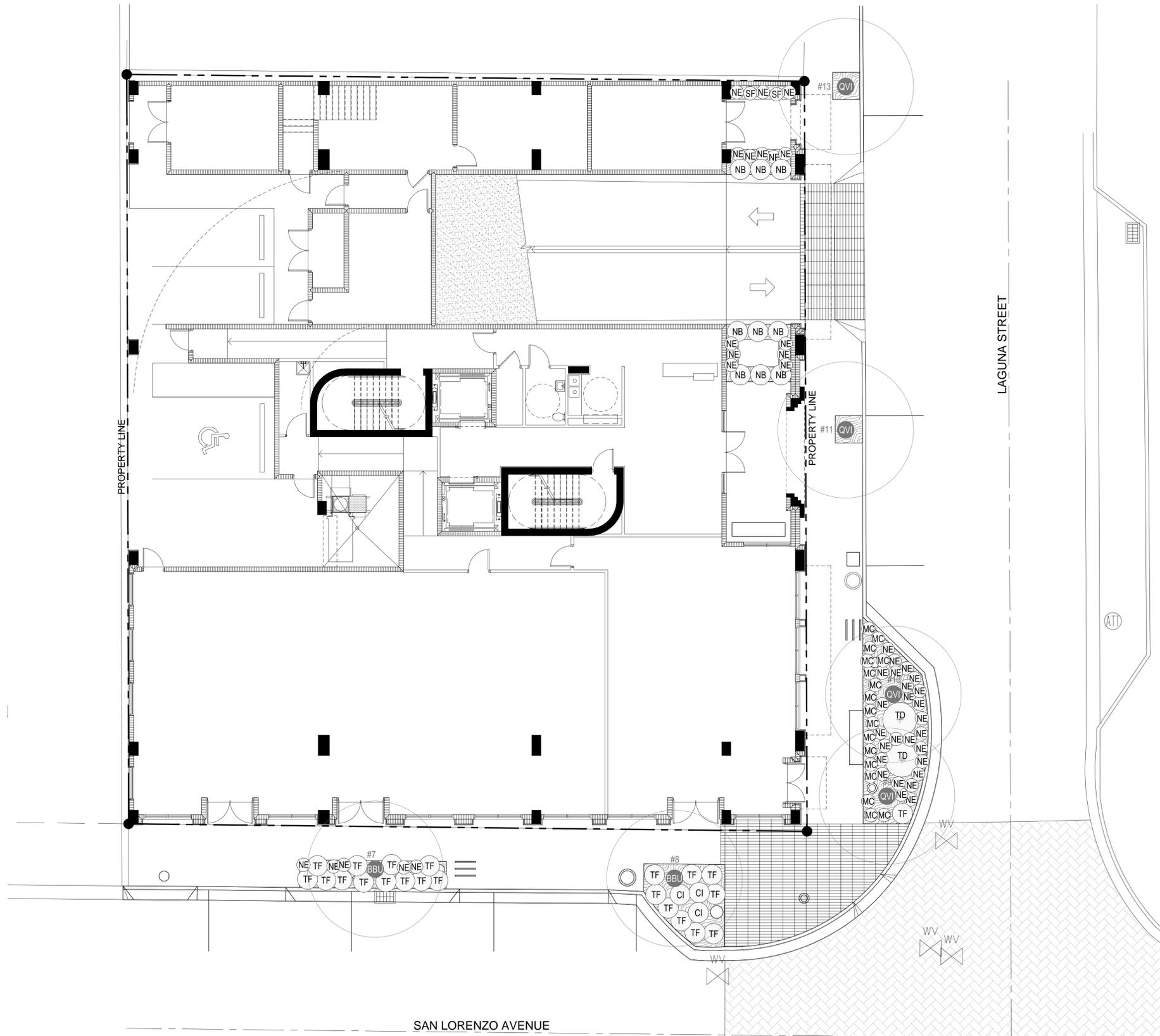
**NOTES:**

- REFER TO L2.14 FOR PROPOSED PLANTING LAYOUT
- PALMS TO BE RELOCATED OFF-SITE WILL BE INSTALLED ON FUTURE OR CONCURRENT PROJECTS WITHIN THE CITY OF CORAL GABLES.
- MITIGATION FOR REMOVAL OF TREE #12 WITHIN THE R.O.W. TO BE COORDINATED WITH CITY OF CORAL GABLES.
- Signage to be approved by separate permit in accordance with City approval





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**PLANT LIST**

Qty	Abbr.	Botan'ca Name	Common Name	Spec'fication
<b>Trees</b>				
2	B3U	Bucida buccera	Black Olive	Exist'ng Trees #7 & 8
4	QVI	Quercus virginiana	Live Oak	Exist'ng Trees #9,10,11 & 13
<b>Shrubs &amp; Accents</b>				
3	CI	Chrysobalanus icaco	Horizontal Cocoplum	7 Gallon
17	MC	Muhlenbergia capillaris	Pink Muhly Grass	3 Gallon
9	N3	Nephrolepis biserrata	Giant Sword Fern	7 Gallon
45	NE	Nephrolepis exaltata	Boston Fern	3 Gallon
2	SF	Stephanotis floribunda	Madagascar Jasmine	3 Gallon - Train to Vine Cables
2	TD	Tripsacum dactyloides	Fakahatchee Grass	15 Gallon
22	T	Tripsacum floridanum	Gamma Grass	3 Gallon

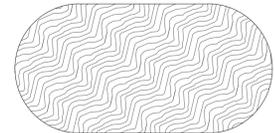
**PLANT SYMBOL LEGEND**



OFFSITE TREES & PALMS

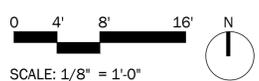


PROPOSED SHRUBS

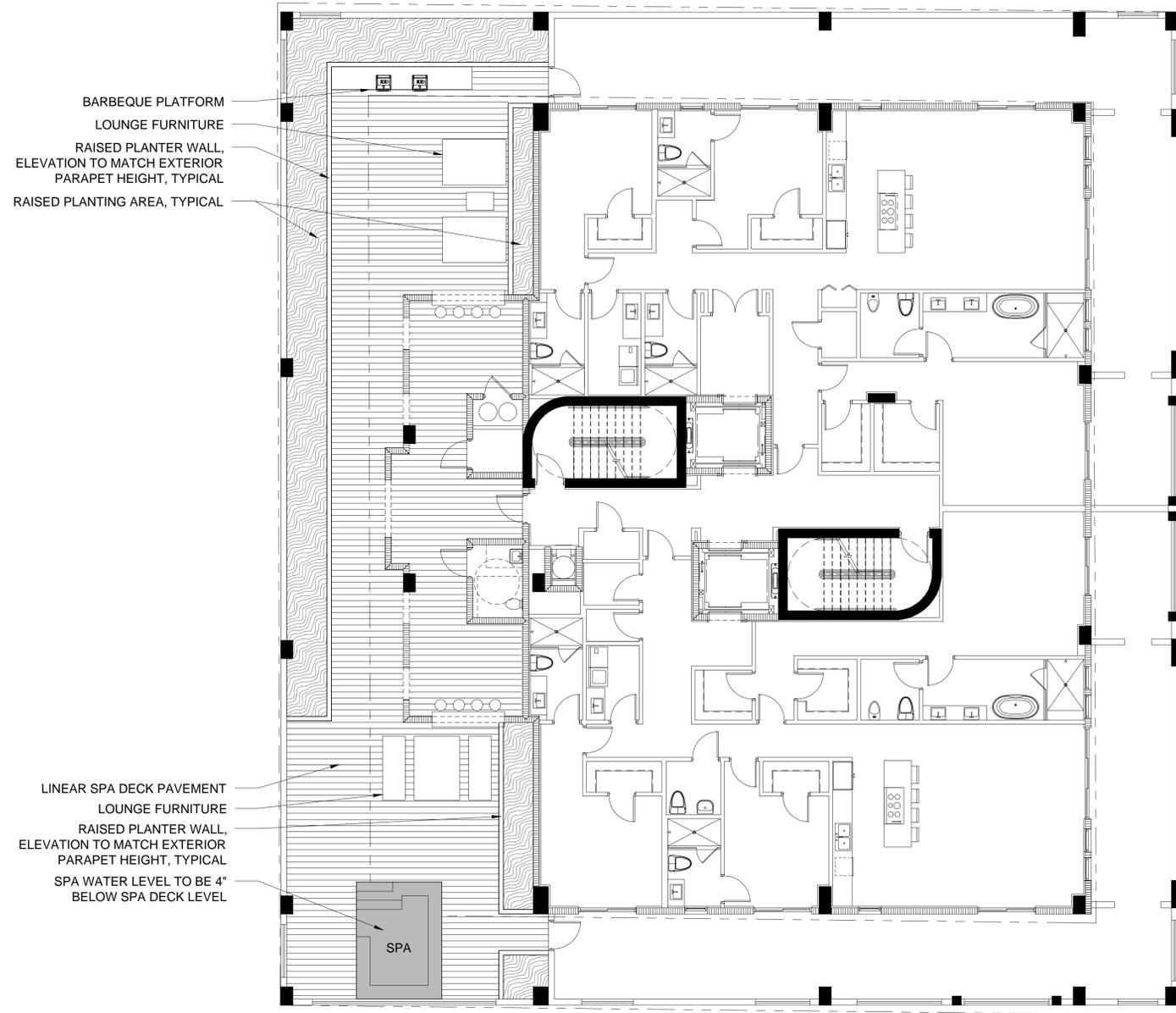


PLANTING AREAS

NOTE: IRRIGATION DRAWINGS WILL BE PREPARED PURSUANT TO APPLICABLE BUILDING CODE REQUIREMENTS AND MIAMI-DADE COUNTY CODE, CHAPTER 33. THE IRRIGATION SYSTEM WILL ALSO MEET THE REQUIREMENTS OF CORAL GABLES ZONING CODE SEC. 5-1104.A.2



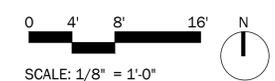
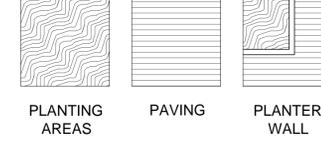
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CHECKED BY: P. BRADY  
DATE PLOTTED: 8/7/2015 12:08:15 PM



BARBEQUE PLATFORM  
LOUNGE FURNITURE  
RAISED PLANTER WALL,  
ELEVATION TO MATCH EXTERIOR  
PARAPET HEIGHT, TYPICAL  
RAISED PLANTING AREA, TYPICAL

LINEAR SPA DECK PAVEMENT  
LOUNGE FURNITURE  
RAISED PLANTER WALL,  
ELEVATION TO MATCH EXTERIOR  
PARAPET HEIGHT, TYPICAL  
SPA WATER LEVEL TO BE 4"  
BELOW SPA DECK LEVEL

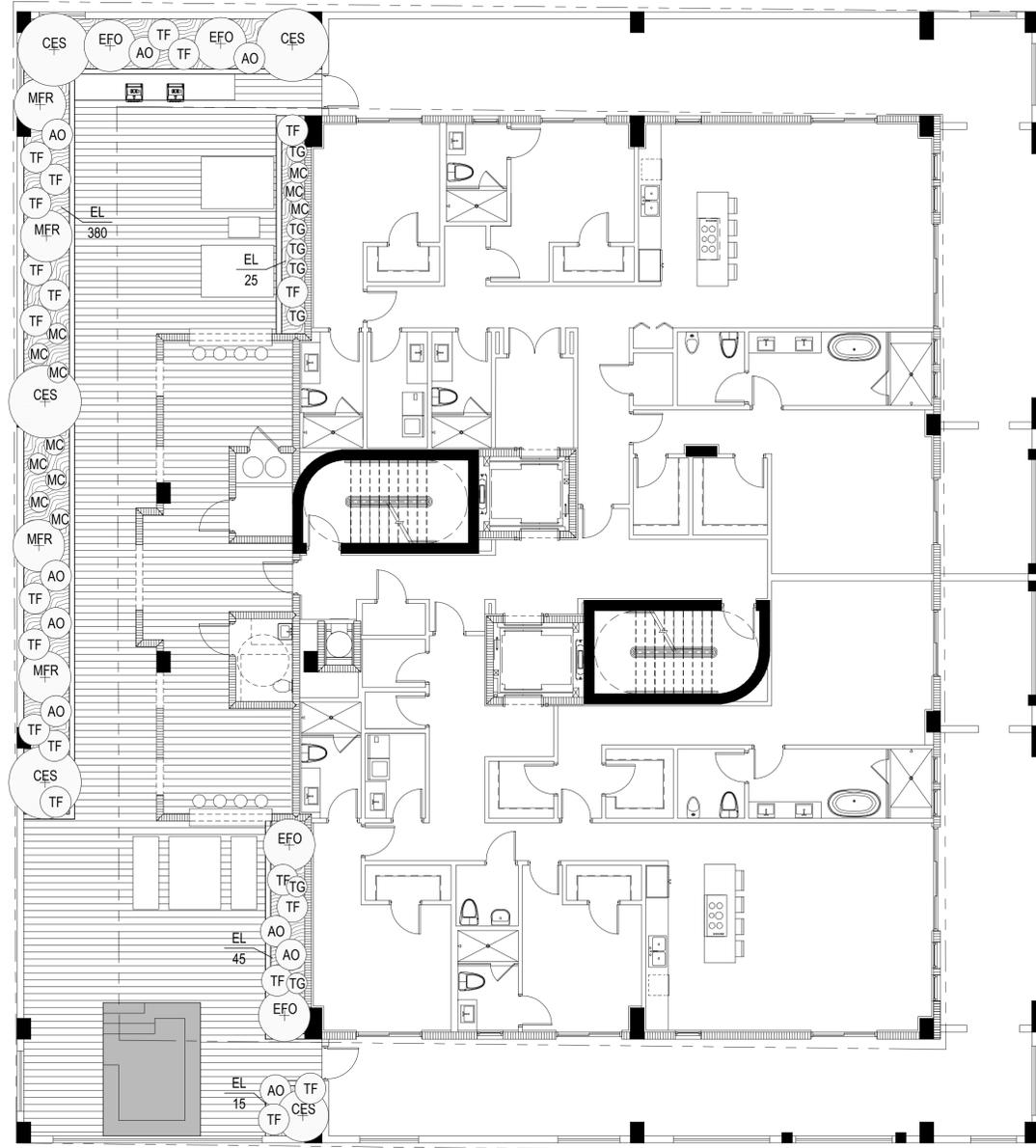
GRAPHIC SYMBOL LEGEND



SCALE: 1/8" = 1'-0"

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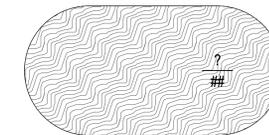
PLANT LIST

Qty	Abb.	Botanical Name	Common Name	Specification
<b>Planter Trees</b>				
5	CES	Conocarpus erectus 'sericeus'	Silver Buttonwood	45 Gallon, 12'-14' Ht.
4	EFO	Eugenia foetida	Spanish Stopper	45 Gallon, 10'-12' Ht.
4	MFR	Myrciaria fragrans	Simpsons Stopper	45 Gallon, 8'-10' Ht.
<b>Planter Accents &amp; Groundcovers</b>				
5	AC	Alcantara odorata	Silver Bromeliad	7 Gallon
465	E	Errodes titoria	Golden Creeper	2 Gallon @ 2' G.C.
11	MC	Muhlenbergia capensis	Pink Muhly Grass	3 Gallon
7	TG	Thunbergia grandiflora	Blue Sky Vine	3 Gallon
20	TF	Tripsacum dardarii	Gamma Grass	2 Gallon

PLANT SYMBOL LEGEND

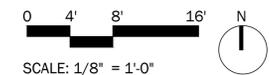


PROPOSED SHRUBS



GROUNDCOVER AREAS

NOTE: IRRIGATION DRAWINGS WILL BE PREPARED PURSUANT TO APPLICABLE BUILDING CODE REQUIREMENTS AND MIAMI-DADE COUNTY CODE, CHAPTER 33. THE IRRIGATION SYSTEM WILL ALSO MEET THE REQUIREMENTS OF CORAL GABLES ZONING CODE SEC. 5-1104.A.2

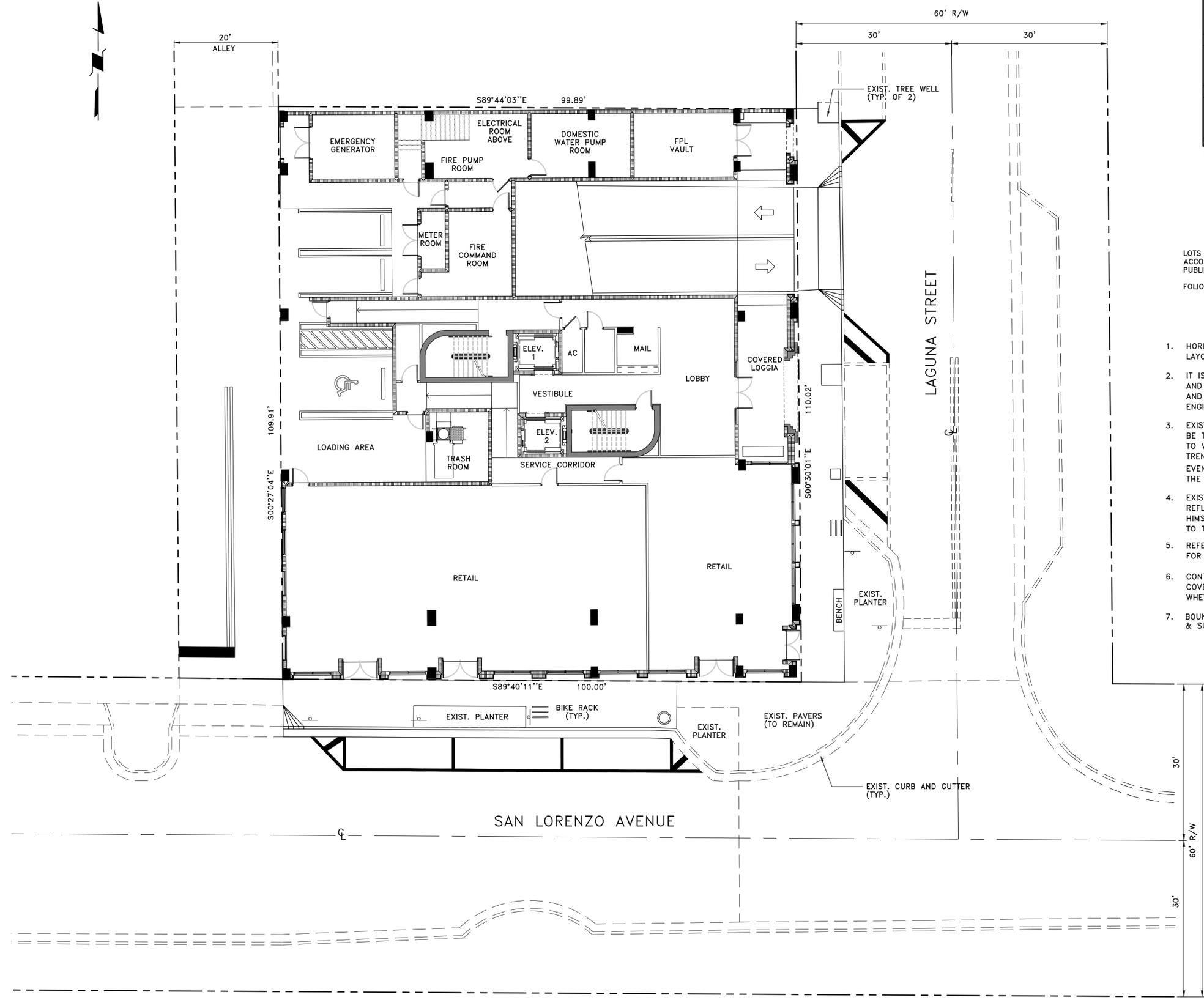


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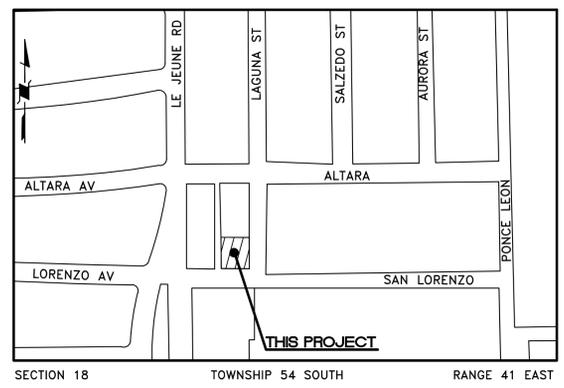
Alexandria | Atlanta | Austin | Boca Raton | Boston | Dallas | Houston | Las Vegas | Los Angeles | New Orleans | Mexico City | Pierce Goodwin Alexander & Linville

DATE: 08/04/15  
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CHECKED BY: P. ANSELMO  
DATE PLOTTED: 8/4/2015 11:01:21 AM  
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**LAYOUT PLAN**  
SCALE: 1" = 10'



**LOCATION SKETCH**  
SCALE: 1" = 300'

**LEGAL DESCRIPTION**

LOTS 8 THROUGH 11 OF BLOCK 9, REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28 AT PAGE 22 OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.  
FOLIO NO. 03-4120-017-1570

**GENERAL NOTES**

- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY DELTA MAPPING & SURVEYING, INC. MIAMI, FLORIDA, DATED 12-22-2014.

**ADA COMPLIANCE NOTE:**

THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION OF THE FLORIDA BUILDING CODE - 2010 EDITION. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
SITE DESIGN, ACCESS, AND PARKING HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED IN COMPLIANCE WITH APPLICABLE SECTIONS.

**CE&S**  
CONSULTING ENGINEERING & SCIENCE, INC.  
10700 N. KENDALL DRIVE SUITE 400  
MIAMI, FLORIDA 33176 (305) 378-5555  
EB-0003255

FOR THE FIRM: RICHARD B. BOCHNOVICH  
CES PROJECT: 15023 PE-19853 (CIVIL)

**ROGER**  
DEVELOPMENT GROUP

OWNER  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT  
**PGAL**  
791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
(T) 561 988 4002  
(F) 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION  
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PROJECT NUMBER  
1002804.00

CURRENT DOCUMENT STAGE  
DESIGN DEVELOPMENT

CURRENT ISSUE DATE  
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ORIGINAL ISSUE DATE

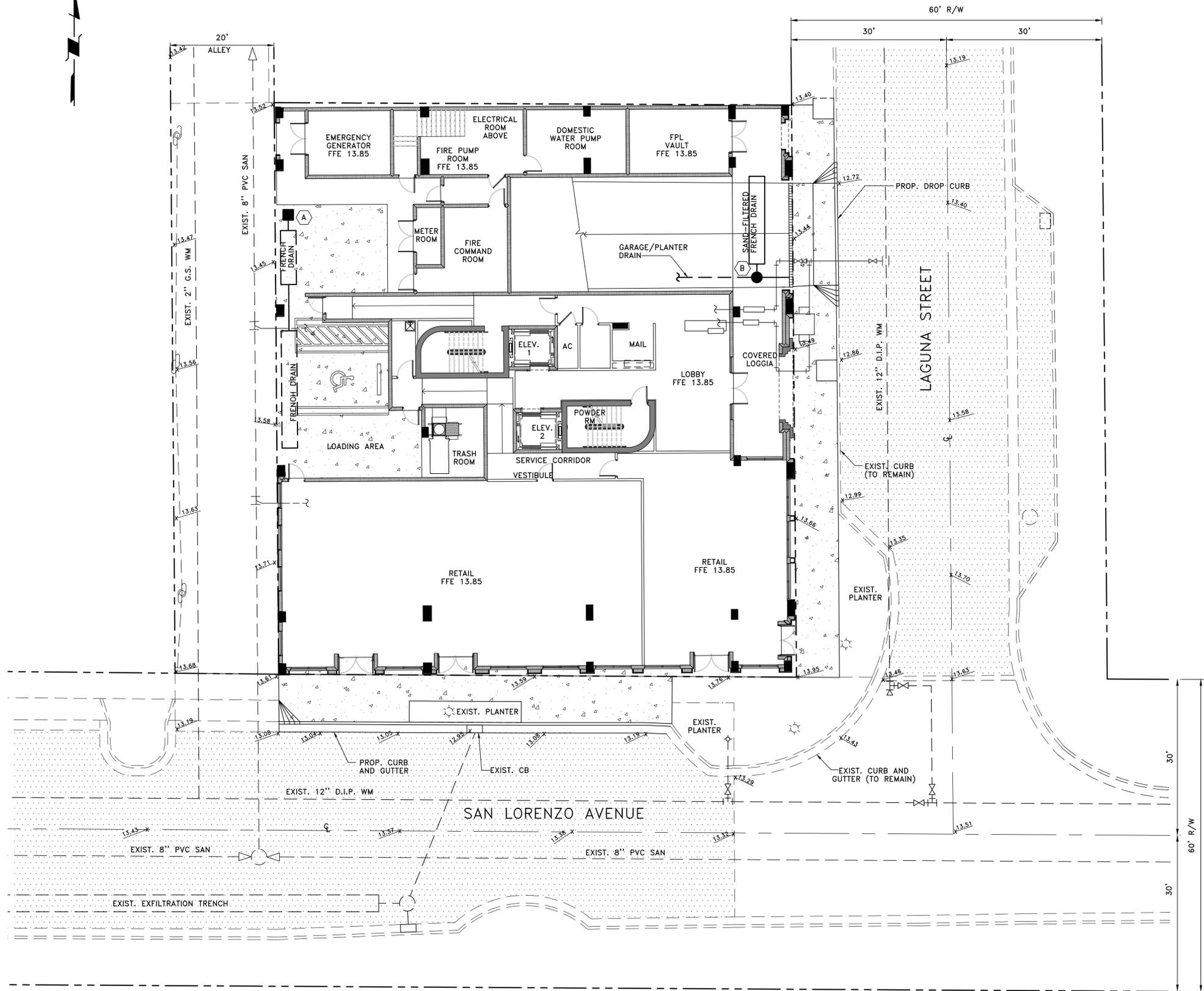
SHEET TITLE

LAYOUT PLAN

SHEET NUMBER

Pierce Goodwin Alexander & Linville | New Orleans | Mexico City | Los Angeles | Las Vegas | Houston | Dallas | Boston | Boca Raton | Austin | Atlanta

DATE: 08/06/15  
DRAWN BY: R. BOCHNOVICH  
CHECKED BY: R. BOCHNOVICH  
SCALE: 1" = 10'



### LEGEND

- EXISTING PAVEMENT
- NEW ASPHALTIC CONCRETE PAVEMENT
- CONCRETE PAVEMENT/SIDEWALK
- SPECIALTY PAVEMENT (COORD. W/ ARCH. DWG'S)
- CATCH BASIN & ID
- FRENCH DRAIN
- DRAINAGE PIPE
- AREA DRAIN
- EXIST. SPOT ELEVATION
- PROP. SPOT ELEVATION

### PAVING-GRADING-DRAINAGE NOTES

1. ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.).
2. GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
3. DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. 2. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE, CORRUGATED ALUMINUM OR BITUMINOUS COATED CORRUGATED STEEL.
4. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
5. ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND TYPE 5-3 ASPHALTIC CONCRETE, AS SHOWN IN THESE DRAWINGS.
6. CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
7. CONTRACTOR SHALL REPLACE ALL DAMAGED EXISTING CURB/GUTTER AND SIDEWALK ALONG PROPERTY FRONTAGES REGARDLESS OF CAUSE OF DAMAGE.
8. ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
9. ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
10. TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.

### PAVING-GRADING-DRAINAGE PLAN

SCALE: 1" = 10'

Always call 811 two full business days before you dig

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 10700 N. KENDALL DRIVE SUITE 400  
 MIAMI, FLORIDA 33176 (305) 378-5555  
 EB-0003255

FOR THE FIRM: RICHARD B. BOCHNOVICH  
 CES PROJECT: 15023 PE-19833 (CIVIL)



OWNER  
 LAGUNA MERRICK, LLC  
 782 N.W. 42ND AVE., SUITE 550  
 MIAMI, FL 33126



ARCHITECT  
 791 Park of COMMERCE BLVD.  
 SUITE 400  
 BOCA RATON, FLORIDA 33487  
 (T) 561 988 4002  
 (F) 561 988 3002  
 PGAL TBPE REG. No. F-2742  
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 ONE MERRICK PARK

PROJECT LOCATION  
 351 SAN LORENZO AVE.  
 CORAL GABLES, FL 33146

SUBMITTAL HISTORY

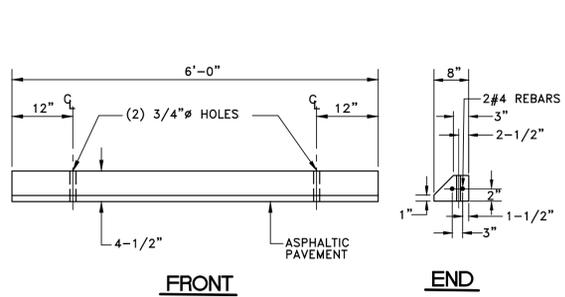
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 -DRAINAGE PLAN  
 SHEET NUMBER

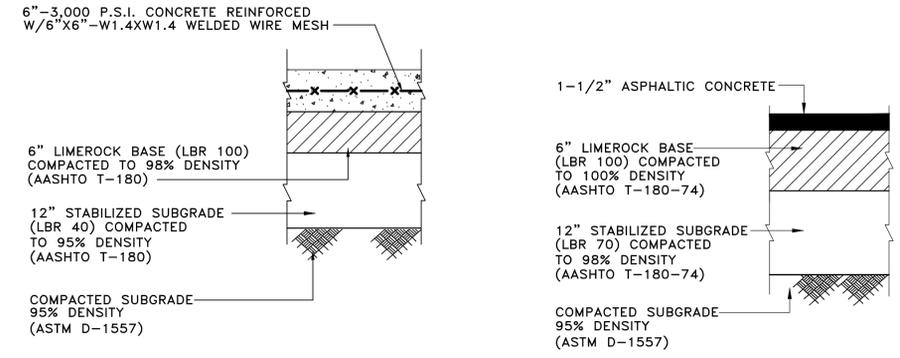
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DATE: 08/06/15  
 DRAWN BY: JAC  
 CHECKED BY: JAC  
 PROJECT: ONE MERRICK PARK  
 SHEET: PAVING-GRADING-DRAINAGE PLAN



NOTE:  
EACH WHEEL STOP TO BE SECURED BY TWO 30" LONG #5 REBARS IN ASPHALTIC PAVT.; BY EPOXY CEMENT IN CONC. PAVT.

**WHEEL STOP DETAIL**  
N.T.S.

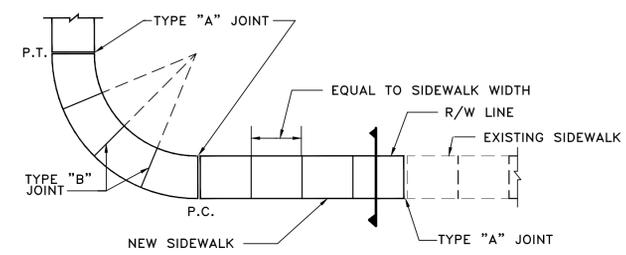


**CONCRETE PAVEMENT**  
N.T.S.

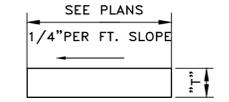
**ASPHALTIC PAVEMENT**  
N.T.S.

TABLE OF SIDEWALK THICKNESS 'T'	
LOCATION	'T'
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

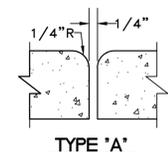
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	6'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK



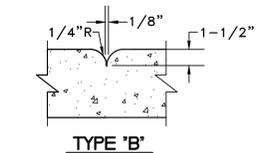
**SIDEWALK PLAN**



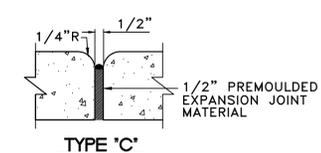
**SECTION**



**TYPE 'A'**

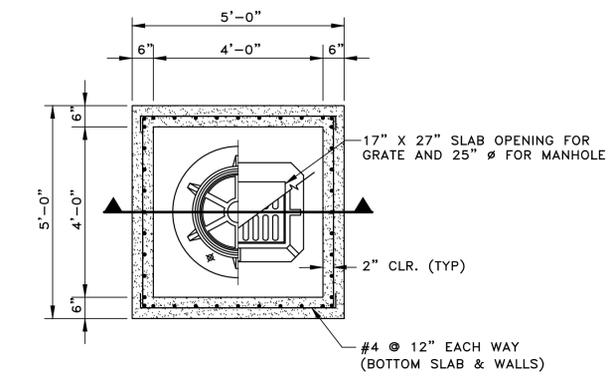


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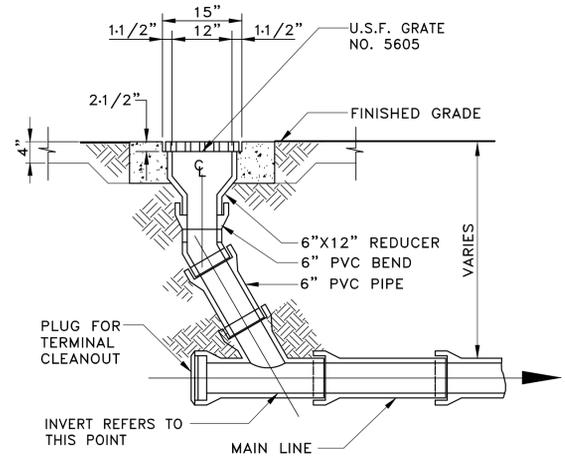


**TYPE 'C'**

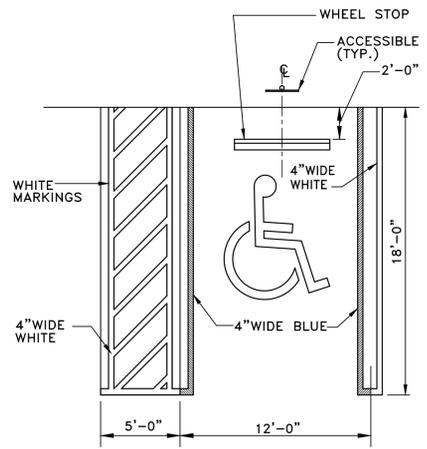
**STANDARD SIDEWALK CONSTRUCTION**  
N.T.S.



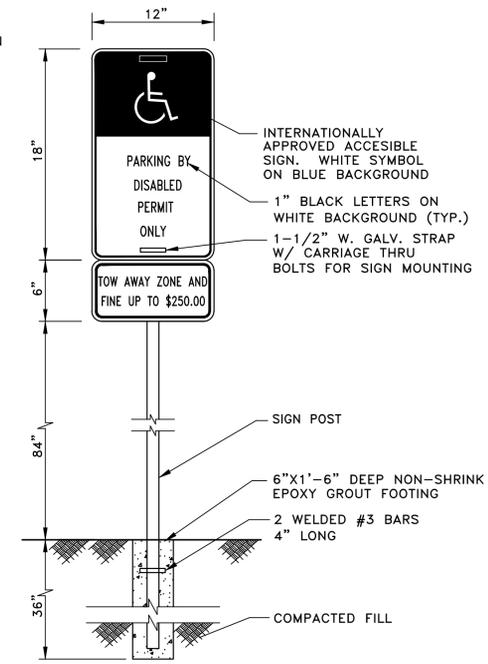
**PLAN**



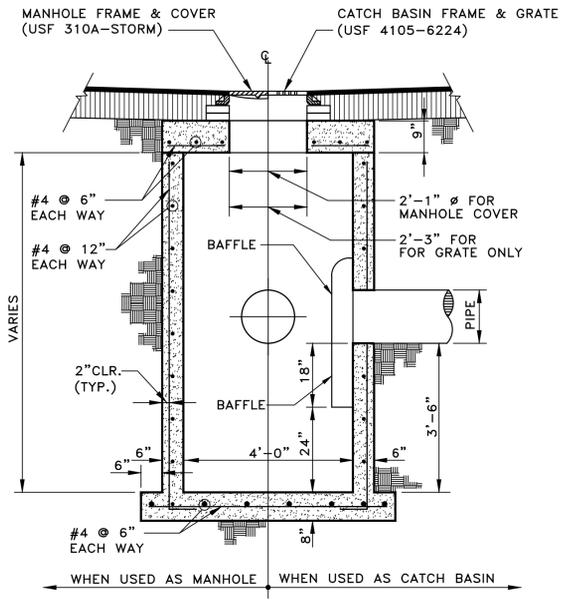
**AREA DRAIN DETAIL**  
SCALE: N.T.S.



**ACCESSIBLE PARKING SPACE**  
SCALE: 3/16" = 1'-0"

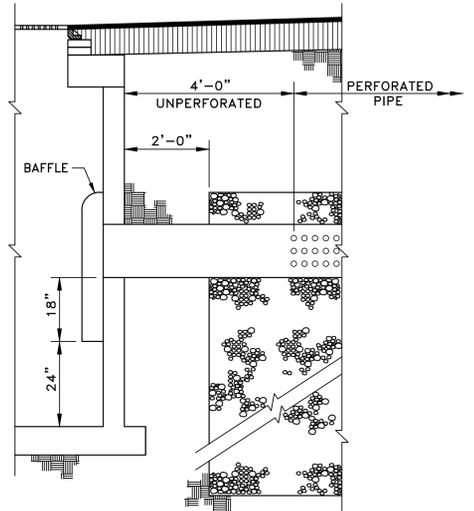


**ACCESSIBLE SIGN**  
N.T.S.

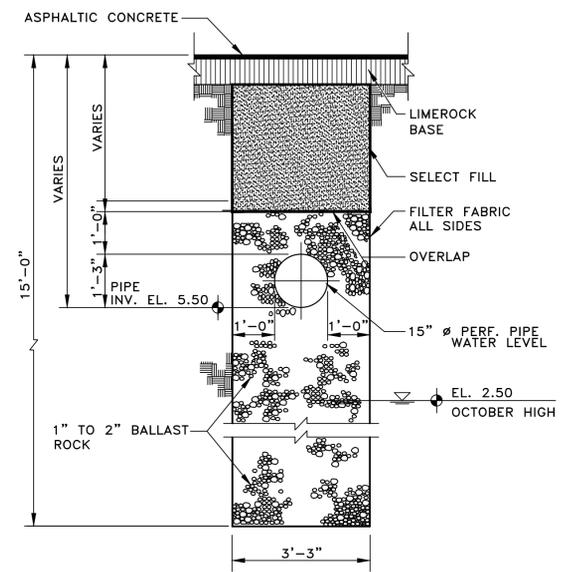


**SECTION**

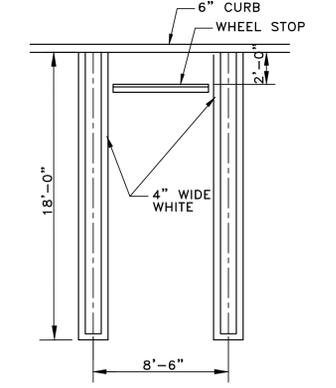
**CATCH BASIN/MANHOLE DETAIL**  
N.T.S.



**FRENCH DRAIN CONNECTION DETAIL**  
N.T.S.



**FRENCH DRAIN SECTION**  
N.T.S.



**STANDARD PARKING SPACE**  
SCALE: 3/16" = 1'-0"

- NOTES:
- SUMP 2'-0" (TYP.), EXCEPT AT POLLUTION CONTROL STRUCTURES SUMP TO BE 3'-6".
  - PROVIDE BAFFLES AS REQUIRED BY MIAMI-DADE D.E.R.M., AS NOTED.

- NOTES:
- PROVIDE BAFFLE WHEREVER PIPE ENTERS FRENCH DRAIN.
  - BAFFLE SHALL BE TYPE S-15 HYDRO-BAFFLE AS MANUFACTURED BY GEOTECHNICAL MARINE CORP. OR APPROVED EQUAL.



OWNER  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT



791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE  
ONE MERRICK PARK

PROJECT LOCATION  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION  
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SHEET TITLE

**SITE & DRAINAGE DETAILS**

SHEET NUMBER

CONSULTING ENGINEERING & SCIENCE, INC.  
10700 N. KENDALL DRIVE SUITE 400  
MIAMI, FLORIDA 33176 (305) 378-5555  
EB-0003255

FOR THE FIRM: RICHARD B. BOCHNOVICH  
CES PROJECT: 15023 PE-19853 (CIVIL)

Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Dallas | Houston | Las Vegas | Mexico City | Atlanta | Austin | Boca Raton | Boston | Chicago | Denver | Fort Lauderdale | Fort Worth | Galveston | Greenville | Jacksonville | Kansas City | Little Rock | Los Angeles | Miami | Minneapolis | New York | Phoenix | Portland | Raleigh | San Antonio | San Diego | San Francisco | Seattle | Tampa | Washington, DC

# STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

## A. GENERAL NOTES

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FDOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP'S NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS:  
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
  - IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR 122.26(b)(14) AND STATE WATER QUALITY STANDARDS.
  - SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
  - HAZARDOUS MATERIAL SPILL CONTROL PLAN.
  - STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
  - BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
  - DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
- ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
- COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION ID4" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

## B. SITE DESCRIPTION

- CONSTRUCTION ACTIVITY:  
DEMOLITION, DRAINAGE AND UTILITY INSTALLATION, NEW BUILDING, LAND DEVELOPMENT.  
PROJECT LIMITS:  
351 SAN LORENZO AVENUE, CORAL GABLES, FLORIDA.  
PROJECT DESCRIPTION:  
LAND DEVELOPMENT AT THE ONE MERRICK PARK PROJECT WILL INCLUDE A NEW MULTI-STORY BUILDING WITH AT-GRADE AND INTERIOR PARKING. THE PROPOSED DRAINAGE SYSTEM WILL CONSIST OF RAINWATER LEADERS, AREA DRAINS, CATCH BASINS AND EXFILTRATION TRENCHES.
- MAJOR SOIL DISTURBING ACTIVITIES:  
CLEARING AND GRUBBING; EXCAVATION FOR FOUNDATIONS, STORMWATER FACILITIES AND OTHER UTILITIES; AND, SITE GRADING.
- TOTAL PROJECT AREA: 0.25 ACRES  
TOTAL AREA TO BE DISTURBED: 0.25 ACRES
- LOCATIONS OF DRAINAGE AREAS AND OUTFALLS:  
SEE ATTACHED PLAN.
- THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM. RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE A LOCAL CANAL AT LATITUDE AND LONGITUDE 25°43'47.83" N/80°15'51.86" W.
- AREA OF DISCHARGE FOR THIS PROJECT IS 0.25 ACRES = 11,000 SF
- SOILS ARE CLASSIFIED AS URBAN LAND AND QUALITY OF DISCHARGE IS LIMESTONE FILL AND SAND.
- LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 25°43'56.51" N/80°15'40.91" W AND LATITUDE AND LONGITUDE OF THE LOCAL CANAL IS 25°43'47.83" N/80°15'51.86" W.

## C. CONTROLS

NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.  
CONSTRUCTION OF THE ONE MERRICK PARK PROJECT AT 351 SAN LORENZO AVENUE, CORAL GABLES, AND ASSOCIATED DRAINAGE SYSTEM WILL INCLUDE EXFILTRATION TRENCHES.  
PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.  
TEMPORARY STABILIZATION:  
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOD OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.  
PERMANENT STABILIZATION:  
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

## 1. EROSION AND SEDIMENT CONTROLS:

- (1) STABILIZATION PRACTICES:
- TEMPORARY SODDING
  - TEMPORARY GRASSING
  - PERMANENT SODDING, SEEDING OR SEED & MULCH
  - TEMPORARY MULCHING
  - ARTIFICIAL COVERING
  - BUFFER ZONES
  - PRESERVATION OF NATURAL RESOURCES

OTHER:

- (2) STRUCTURAL PRACTICES:
- SAND BAGGING
  - SILT FENCES
  - ROCK BAGS
  - BERMS
  - DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
  - PIPE SLOPE DRAINS
  - FLUMES
  - ROCK BEDDING AT CONSTRUCTION EXIT
  - TIMBER BEDDING AT CONSTRUCTION EXIT
  - DITCH LINER
  - SEDIMENT TRAPS (DURING DE-WATERING)
  - SEDIMENT BASINS
  - STORM INLET SEDIMENT TRAP
  - STONE OUTLET STRUCTURES
  - CURBS AND GUTTERS
  - STORM SEWERS
  - VELOCITY CONTROL DEVICES
  - TURBIDITY BARRIER
  - RIP RAP

## 2. DESCRIPTION OF STORM WATER MANAGEMENT:

THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF RAINWATER LEADERS, AREA DRAINS AND CATCH BASINS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES THAT TREAT THE WATER QUALITY AND WATER QUANTITY REQUIREMENTS.

OTHER CONTROLS

## 3. IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.

- (2) OFFSITE VEHICLE TRACKING:
- HAUL ROADS DAMPENED FOR DUST CONTROL
  - LOADED HAUL TRUCKS TO BE COVERED WITH TARPULIN
  - EXCESS DIRT ON ROAD REMOVED DAILY
  - STABILIZED CONSTRUCTION ENTRANCE

OTHER:

- (3) SANITARY WASTE:  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

- (4) FERTILIZERS AND PESTICIDES:  
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.

- (5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING) THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER). DEWATERING IS NOT ANTICIPATED.

REMARKS:  
IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION THE MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER) SHALL BE CONTACTED AT THEIR HOTLINE: (305) 372-6955.

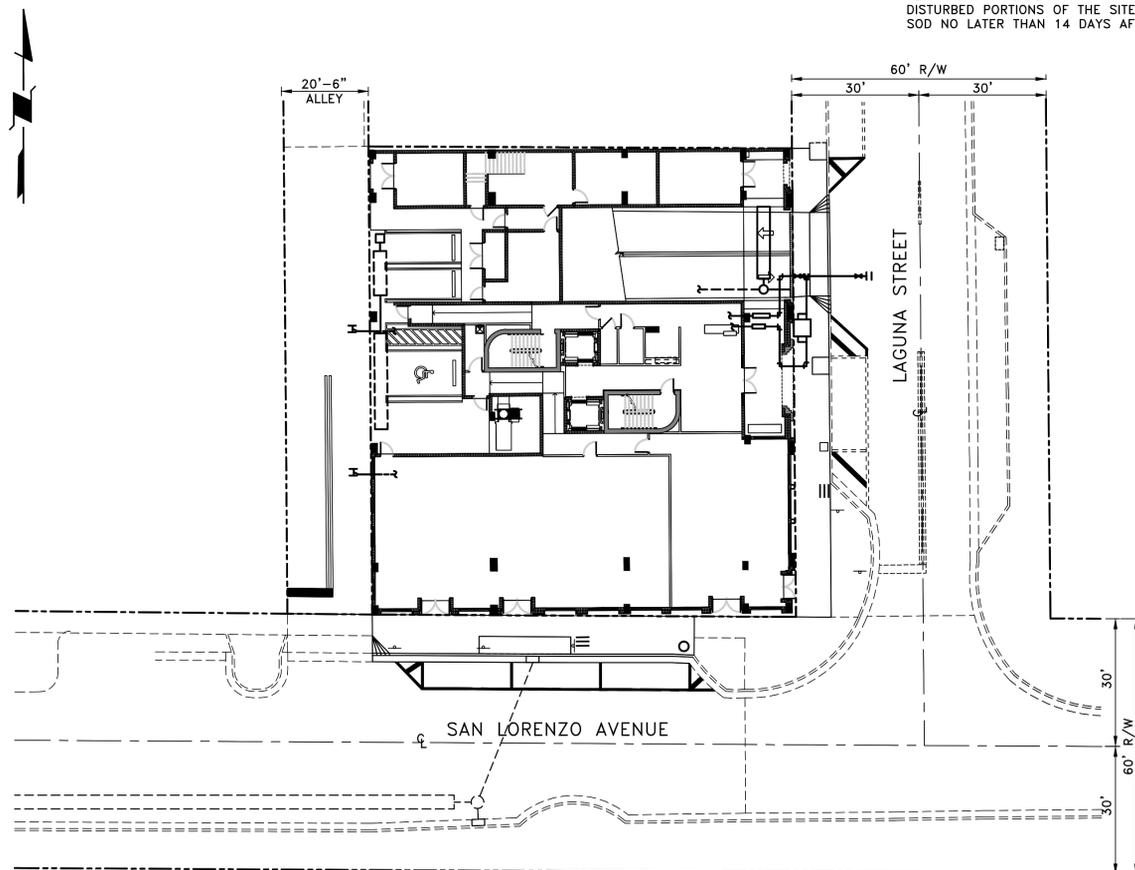
## 4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: VILLAGE OF PALMETTO BAY BUILDING DEPARTMENT FLORIDA DEPARTMENT OF TRANSPORTATION AND MIAMI-DADE COUNTY RER.

## D. MAINTENANCE

- |                                     |  |
|-------------------------------------|--|
| ITEM:<br>SILT FENCE                 | MAINTENANCE:<br>ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.<br>IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT. |
| CONSTRUCTION ENTRANCE<br>GRAVEL BED | WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, REWORK BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.  |

## E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS. A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.



## STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'

- GRAVEL BED (No. 25 ROCK)
- STAKED SILT FENCE

### NOTES:

- INSTALLATION OF ANY STAKED SILT FENCE SHALL BE IN ACCORDANCE WITH FDOT 2010 INDEX No. 102.
- INSTALLATION OF HAY BALES SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102.
- PLACEMENT OF ROCK BAGS (IF USED) SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102.

**CE**  
CONSULTING ENGINEERING & SCIENCE, INC.  
10700 N. KENDALL DRIVE SUITE 400  
MIAMI, FLORIDA 33176 (305) 378-5555  
EB-0003255

FOR THE FIRM: RICHARD B. BOCHNOVICH  
CES PROJECT: 15023 PE-19833 (CIVIL)



OWNER  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

ARCHITECT



791 Park of COMMERCE BLVD.  
SUITE 400  
BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
[F] 561 988 3002  
PGAL TBPE REG. No. F-2742  
www.pgal.com  
CONSULTANT

PROJECT TITLE

ONE MERRICK PARK

PROJECT LOCATION

351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

SUBMITTAL HISTORY

REGISTRATION

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PROJECT NUMBER

1002804.00

CURRENT DOCUMENT STAGE

DESIGN DEVELOPMENT

CURRENT ISSUE DATE

08/06/15

ORIGINAL ISSUE DATE

SHEET TITLE

STORMWATER  
POLLUTION  
PREVENTION PLAN  
SHEET NUMBER

Pierce Goodwin Alexander & Linville  
New Orleans | Los Angeles | Houston | Dallas | Austin | Boca Raton | Boston | Atlanta | Alexandria

- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE DEPARTMENT. SUBMIT SHOP DRAWINGS FOR ALL MATERIALS.
- COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4'-0" MIN.
- ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 53 VALVE BOXES FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.
- FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY THE MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- CONTRACTOR MUST CALL M-DWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
- CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT.
  - EASEMENTS, IF REQUIRED.
  - CONTRACTOR'S WAIVER AND RELEASE OF LIEN.
  - ABSOLUTE BILL OF SALE.
  - CONTRACTOR'S LETTER OF WARRANTY (I.E., LETTER AGREEMENT).
  - DEVELOPER'S CONTRACT BOND (I.E., CONTRACT AGREEMENT).
  - "AS-BUILT" PRINTS 24"x36" SHOWING SPECIFIC LOCATIONS, DEPTH, ETC. OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED FLORIDA SURVEYOR, ALONG WITH PRINTS OF "AS-BUILT" WHICH HAVE BEEN SIGNED AND SEALED BY A REGISTERED SURVEYOR. (No. OF PRINTS: 3-FOR WATER, 4-FOR GRAVITY SEWER AND 5-FOR FORCE MAIN OR PUMP STATION PROJECTS). THE DEPARTMENT RESERVES THE RIGHT TO REQUIRE SUBMITTAL ON ELECTRONIC MEDIA IN ACCORDANCE WITH SEC. 01775 "MAGNETIC MEDIA SUBMITTAL".
  - H.R.S. LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS.
  - BILL OF SALE SKETCH (96"x11") FOR WATER AND SEWER, SEPARATELY.
- ALL NEW CONNECTIONS FROM EXISTING DEPARTMENT MAINS TO BE MADE BY DEPARTMENT FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS, PROVIDE AND INSTALL MATERIAL WITH FITTINGS, PRIOR TO TAP.
- AN APPROVED PAVING AND DRAINAGE PLAN MUST BE SUBMITTED TO MDWASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.
- UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCES. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO TAP EXISTING MAINS IN THE SIZE RANGE SPECIFIED ABOVE. THE TAPPING SLEEVE AND TAPPING VALVE ARE FURNISHED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

ITEM	CROSS REF.	SPEC. REF.

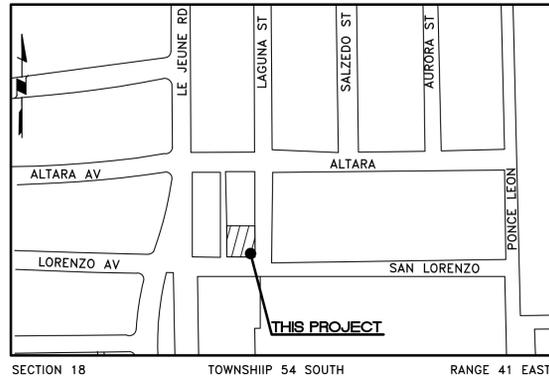
ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
03/01/2010	V.F.C.	STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION	0.5
			SHEET 1 of 2

- AT THE COMPLETION OF ANY WATER AND SEWER JOB, EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
  - AS-BUILT PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. (QTY. OF PRINTS, AS REQUIRED BY THE DEPARTMENT.)
- "AS-BUILT" FORMAT:
  - 24"x36" PRINTS
  - LOCATION MAP SCALE SHOULD BE 1"=300' AND SECTION-TOWNSHIP-RANGE SHOULD BE SHOWN.
  - THE WORD "AS-BUILT" IN LARGE LETTERS.
  - TITLE BLOCK WITH DEPARTMENT DS, DW OR ER NUMBER AND PERTINENT INFORMATION.
  - PREFERRED SCALE TO BE 1"= 40' HORIZONTALLY AND 1"= 4' VERTICALLY\*.
  - STREET NOMENCLATURE.
  - SEPARATE AS-BUILTS FOR WATER AND SEWER.
  - SEPARATE WATER AND SEWER PROFILE.
  - STATIONING STARTING WITH 0+00 AT PERMANENT REFERENCE POINT (I.E., C. & G., ETC.) OR AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN.
  - EASEMENTS, IF ANY, TIED TO PERMANENT REFERENCE POINT.
  - IDENTIFY ALL CONTROL LINES (I.E. BLDG. LINE, PROPERTY LINE, R/W, ETC).
  - ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY "AS-BUILT" INFORMATION REFLECTED IN DRAWINGS.
- WATER "AS-BUILTS" MUST INCLUDE:
  - PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), STATION OF SERVICES, HYDRANTS AND FITTINGS AT THE MANLINE (IF PERPENDICULAR TO IT), AND AT MAIN AND END OF SERVICES IF ANY, OTHER ANGLE, AND DEFLECTION OF PIPE, IF ANY.
  - PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN.
- SEWER "AS-BUILTS" MUST INCLUDE:
  - PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL OF PIPE, DEFLECTION, IF ANY (FORCE MAIN ONLY), AND LOCATION OF LATERALS WITH REFERENCE TO MANHOLE.
  - PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), RIM AND INVERT ELEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT EACH 0+00 AT DOWNSTREAM MANHOLE.
- FORCE MAIN "AS-BUILT" SAME AS WATER MAIN ABOVE.
- EACH AS-BUILT SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT READJUSTMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

\* OTHER SCALE MAY BE PERMITTED, BUT MUST BE APPROVED BY THE DEPARTMENT.

ITEM	CROSS REF.	SPEC. REF.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
03/11/2009	V.F.C.	"AS-BUILT" REQUIREMENTS	0.5
			SHEET 2 of 2



**LOCATION SKETCH**  
SCALE: 1" = 300'

**LEGAL DESCRIPTION**

LOTS 8 THROUGH 11 OF BLOCK 9, REVISED PLAT OF CORAL GABLES INDUSTRIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28 AT PAGE 22 OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

FOLIO NO. 03-4120-017-1570

**REGULATORY AND ECONOMIC RESOURCES  
RER NOTES ON WATER-SEWER INSTALLATION**

(NOT A PART OF M-DWASD NOTES OR APPROVAL)

- A PREFERRED HORIZONTAL DISTANCE (OUTSIDE TO OUTSIDE) OF 10 FEET OR MINIMUM OF 6 FEET SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET ONLY FOR GRAVITY SEWERS WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
  - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE
  - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
  - THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
- A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
  - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
  - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- THE CONTRACTOR SHALL VERIFY NATURE, DEPTH AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSTRUCTED AT LEAST 5 FEET FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER OR THE UTILITY PIPE.
- WHEN THE 5 FEET SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL HAND DIG OR EXPOSE THE WATER AND SEWER PIPES BEFORE PROCEEDING WITH POWER EQUIPMENT EXCAVATION.
- IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH PARALLEL AND ABOVE AN EXISTING WATER OR SEWER PIPES EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 3, 4 AND 5 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.
- IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING OR THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO SUBMITTAL OF DOCUMENTATION SHOWING THAT THE PROPOSED ALTERNATIVE WILL RESULT IN AN EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.
- GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE PVC-900 OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE INFILTRATION, INFILTRATION OR LEAKAGE FOR GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE FIFTY (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY FOR RESIDENTIAL LAND USE AND TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY FOR NON-RESIDENTIAL LAND USE WITH NO ALLOWANCES FOR MANHOLES OR LATERALS. THE MAXIMUM ALLOWABLE INFILTRATION, INFILTRATION OR LEAKAGE IN GRAVITY SANITARY SEWERS CONSTRUCTED OUTSIDE A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY. THE DURATION OF ALL TESTS SHALL BE A MINIMUM OF TWO (2) HOURS. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- FORCE MAIN SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE EITHER DUCTILE IRON OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
  - FOR DUCTILE IRON PIPE, EXFILTRATION RATE SHALL NOT BE GREATER THAN THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI.
  - FOR REINFORCED CONCRETE PRESSURE SANITARY SEWER, EXFILTRATION RATE SHALL NOT BE GREATER THAN HALF (1/2) THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI.
- A NON-RESETTABLE ELAPSED TIME METER SHALL BE INSTALLED AT EACH PUMP TO RECORD THE TOTAL NUMBER OF OPERATING HOURS OF THE STATION.

**NOTE**  
ALL EXISTING MAINS IMPACTED BY THIS PROJECT AND ALL PROP. WATER & SEWER FORCE MAINS AND FITTINGS TO BE RESTRAINED PER GS 2.0



**GENERAL NOTES**

(NOT A PART OF M-DWASD NOTES OR APPROVAL)

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.).
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.

**HEALTH DEPARTMENT NOTES**

(NOT A PART OF M-DWASD NOTES OR APPROVAL)

**WATER MAIN HORIZONTAL SEPARATIONS**

SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT. MINIMUM.

BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAINS IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.

10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

**WATER MAIN VERTICAL SEPARATIONS**

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.\*

PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.\*

\* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

**M-DWASD SPECIAL NOTES**

- FOR ALL PROJECTS WHERE REMOVAL OF UTILITY LINES IS PROPOSED:
  - ALL EXISTING UTILITIES BEING REMOVED AND/OR RELOCATED MUST REMAIN ACTIVE AND IN SERVICE UNTIL SUCH TIME WHEN NEW REPLACING UTILITIES HAVE BEEN INSTALLED, IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL RELATED SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES, BY M-DWASD FORCES AT OWNER'S EXPENSE, AS APPLICABLE.
  - ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE NEW MAINS. ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL OF THE EXISTING WATER AND/OR SEWER FACILITIES.



**OWNER**  
LAGUNA MERRICK, LLC  
782 N.W. 42ND AVE., SUITE 550  
MIAMI, FL 33126

**ARCHITECT**



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BOCA RATON, FLORIDA 33487  
[T] 561 988 4002  
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PGAL TBPE REG. No. F-2742  
www.pgal.com  
**CONSULTANT**

**PROJECT TITLE**  
ONE MERRICK PARK

**PROJECT LOCATION**  
351 SAN LORENZO AVE.  
CORAL GABLES, FL 33146

**SUBMITTAL HISTORY**

**REGISTRATION**  
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**PROJECT NUMBER**  
1002804.00  
**CURRENT DOCUMENT STAGE**  
DESIGN DEVELOPMENT  
**CURRENT ISSUE DATE**  
08/06/15  
**ORIGINAL ISSUE DATE**

**SHEET TITLE**

**WATER & SEWER NOTES**

**SHEET NUMBER**

Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Las Vegas | Houston | Dallas | Boston | Boca Raton | Austin | Atlanta | Alexandria



March 27, 2015

**CONCURRENCY REVIEW**

DR #: 15-03-4137

APPLICANT: LAGUNA MERRICK LLC

PROJECT NAME: LAGUNA MERRICK

JOB ADDRESS: 351 SAN LORENZO AVE

REVIEWER: SEBRINA BROWN, CONCURRENCY ADMINISTRATOR

PHONE NUMBER: (305) 460-5236

E-MAIL ADD.: SBROWN@CORALGABLES.COM

COMMENTS:

- PLANNING & ZONING APPROVAL REQUIRED.
- WHEN READY TO PROCEED WITH THE PERMITTING PROCESS, SUBMIT (2) SETS OF PLANS TO THE DEVELOPMENT SERVICES DEPARTMENT, LOCATED AT 405 BILTMORE WAY, 3<sup>RD</sup> FLOOR
- MUST TAKE PLANS TO MIAMI-DADE DERM PLAN REVIEW OFFICE, LOCATED AT 11805 CORAL WAY, MIAMI, FL. (786-315-2800) OR 701 NW 1<sup>ST</sup> COURT (305) 372-6789.
- PRIOR TO TAKING PLANS TO DERM, SUBMIT A DERM SEWER CAPACITY CERTIFICATION APPLICATION TO THE CITY OF CORAL GABLES PUBLIC WORKS DEPARTMENT, SANITARY SEWER DIVISION, LOCATED AT 2800 S.W. 72<sup>ND</sup> AVENUE (305) 460-5002.
- OBTAIN AN ALLOCATION LETTER FROM MIAMI-DADE DERM SANITARY SEWER DIVISION, LOCATED AT 11805 CORAL WAY AND 701 NW 1<sup>ST</sup> COURT.
- PROVIDE COPY OF SERVICE AGREEMENT OR BILLING RECEIPT FROM MIAMI-DADE WATER & SEWER DEPT., 11805 CORAL WAY AND 3575 LE JEUNE ROAD.

- TAKE PLANS TO THE MIAMI-DADE ROAD IMPACT FEE OFFICE FOR PAYMENT OF ROAD AND SCHOOL IMPACT FEES, LOCATED AT 11805 CORAL WAY.
- MUST APPLY FOR A CERTIFICATE OF USE AFTER PLANS ARE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT TO BEGIN THE PERMITTING PROCESS.
- CONCURRENCY FEES ARE APPLICABLE AT \$761.25 PER UNIT AND \$0.30 CENTS PER S.F. FOR THE REMAINDER OF THE BUILDING, INCLUDING THE PARKING GARAGE AREA. (NOTE: FEES ARE DUE AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT).
- SUBMIT A CONCURRENCY IMPACT STATEMENT TO RESERVE CAPACITY AFTER FINAL BOARD OF ARCHITECTS APPROVAL. (CIS APPLICATION PROCESSING FEE \$190.31).
- MUST PROVIDE MINIMUM PARKING REQUIRED FOR ALL USES.
- FUTURE TENANTS MUST OBTAIN A CERTIFICATE OF USE.
- WASTE MANAGEMENT APPROVAL REQUIRED. CONTACT CARLOS SOTORRIO OF WASTE MANAGEMENT FOR COMMENTS AT (305-547-6022).
- ADDITIONAL COMMENTS MAY BE APPLICABLE.

# CORAL GABLES CONCURRENCY MANAGEMENT



## Concurrency Information Statement

This Concurrency Information Statement is for informational purposes only and reflects the availability of public services only at the time statement is issued.

The available capacity for each public service is monitored and updated as development orders are issued by the city, and the applicant cannot be assured that the necessary public services will be available for a development order (e.g. any change in use) at a future date.

Laguna Merrick  
351 San Lorenzo Avo  
Coral Gables, FL

Multi Family Dwellings: 13 units  
Department Store: 3900 Sq.Ft.  
STATUS=P

Date Printed: 3/24/2015  
Development Order: 0  
Record Number: 3257  
Assoc. Demolition Record: 0

### Zones:

Trffic	Fire Protection	Flood Protection	Parks and Recreation
23	201	X	3

### Concurrency Needs

Minimum Required Elevation (ft): 0

Adequate Water Flow for Commercial & Residential Fire Protection

	Site Demand	Zone Capacity	Zone Demand	Concurrent	
Trips	231			OK	Within Urban Infill Area
Golf Course	0.0021666878	47.41	0.4001568028	OK	
Tennis Courts	0.0218666845	40.35	4.0015663945	OK	
Recquetball Courts	0.0028275	6.23	0.5222775	OK	
Basketball Courts	0.009205	15.34	1.716895	OK	
Ball Diamonds	0.0058175	6.27	1.0744675	OK	
Playing Fields	0.0058175	7.27	1.0744675	OK	
Swimming Pools	0.00065	3.13	0.11945	OK	
Equipped Playing Areas	0.0065	6.34	1.201	OK	
Spectal Recreation Facilities	0.0975	93.84	17.914	OK	
Neighborhood Parks (acres)	0.024375	6.62	4.502575	OK	
Mini Parks (acres)	0.0013	0.97	0.2401	OK	
Open Space (acres)	0.00325	1.53	0.60115	DK	
Water Flow (gpm)	3000	3000	3000	OK	

Application Fee: \$190.31  
Application Date: 3/24/2015  
Expiration Date: N/A

Statement Issued by:

Comments: PROPOSED NEW DEVELOPMENT OF (13) MULTI-FAMILY UNITS WITH (3,825.0) S.F. RETAIL

Although the proposed use for which this Concurrency Statement is issued is located in the Urban Infill Area of the City of Coral Gables, and the Statement does not reflect the actual trips that would be generated for this use, Concurrency Fees are applicable and will be assessed.



**CITY OF CORAL GABLES  
DEVELOPMENT SERVICES DEPT INVOICE  
CONCURRENCY INVOICE  
405 Biltmore Way - Coral Gables, FL 33134**

(305) 460-5235

**Site Address:** 351 SAN LORENZO AVE  
CORAL GABLES, FL 33146

**PERMIT NUMBER:** CC-15-03-4061

**PARCEL NUMBER:** 03-4120-017-1570

**Project Name:**  
**Legal Description:**  
CORAL GABLES INDUSTRIAL SEC PB 28-22 LOTS 10 & 11 BLK 9 LOT SIZE 6000 SQUARE FEET OR  
19518-3167 0201 6(3) - GEORGE J BAYA & W MARY PHILLIPS GEORGE J BAYA & W MARY P OR 13836-0060  
1286 5 RONALD T THOMPSON

**Applicant:**  
LAGUNA MERRICK LLC  
782 NW 42 AVE  
550  
MIAMI, FL 33126

**Owner:**  
ROUSE-CORAL GABLES PROPERTY  
PO BOX 617905  
CHICAGO, IL 60661-7905

**Contractor:**

**Tenant:**

**Qualifier:**  
**Bus. License:**

**Project Description:**  
CONCURRENCY IMPACT STATEMENT - SEE FOLIO'S: 03-4120-017-1570, 03-4120-017-1560 & 03-4120-017-1550

CHANGE (INCREASE) OF USE S.F. 0

**FEES**

CONCURRENCY IMPACT STATEMENT 190.31

**TOTAL:** \$190.31

**Warning to owner:** A recorded notice of commencement might be required to be submitted prior to inspection scheduling.

**Issued Date:**

**Expiration Date:** 03/09/2015

CALL BEFORE YOU DIG FOR ALL UTILITY LOCATES  
SUNSHINE STATE ONE CALL 1-800-432-4770



Issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law

CALL THE AUTOMATED REQUEST SYSTEM TO SCHEDULE AN INSPECTION. 305-722-8700  
SCHEDULE AN INSPECTION VIA THE WEB. WWW.CORALGABLES.COM  
BUILDING & ZONING: 305-460-5245 FIRE: 305-460-5563  
PUBLIC WORKS: 305-460-5025/26



MAR 06 2015

## CITY OF CORAL GABLES CONCURRENCY APPLICATION

AN APPLICATION FEE OF \$100.31 WILL BE CHARGED WITH THE COMPLETION OF THIS APPLICATION

### PROPOSED PROJECT INFORMATION:

APPLICANT: JORGE L. NAVARRO, ESQ.

DEVELOPMENT NAME: LADUNA MERRICK

SITE ADDRESS: 351 SAN LORENZO AVENUE  
CORAL GABLES, FL 33146

FOLIO: 30-4120-017-1550/1560 & 1570

### CONCURRENCY REVIEW REQUESTED:

(PLEASE CHECK ONE BELOW)

INFORMATIONAL

IMPACT ANALYSIS

### ASSOCIATED DEVELOPMENT ORDER:

DEVELOPMENT ORDER/PROCESSING NUMBER: \_\_\_\_\_

### PROPOSED LAND USES:

#### RESIDENTIAL

SINGLE FAMILY NUMBER OF UNITS: \_\_\_\_\_

TOWNHOUSES NUMBER OF UNITS: \_\_\_\_\_

MULTI-FAMILY NUMBER OF UNITS: proposed: 13 UNITS

**PROPOSED LAND USES:**

**COMMERCIAL**

SERVICE STATION NUMBER OF PUMPS: \_\_\_\_\_

SUPERMARKET 1,000 S.F. GFA: \_\_\_\_\_

DISCOUNT STORE 1,000 S.F. GFA: \_\_\_\_\_

DISCOUNT STORE W/SUPERMARKET 1,000 S.F. GFA: \_\_\_\_\_

GENERAL RETAIL OR DEPT. STORE 1,000 S.F. GFA: proposed: 3,825 SF

AUTO SUPPLY 1,000 S.F. GFA: \_\_\_\_\_

NEW CAR DEALER 1,000 S.F. GFA: \_\_\_\_\_

CONVENIENCE STORE 1,000 S.F. GFA: \_\_\_\_\_

**SHOPPING CENTER**

1/2 TO 1 MILLION SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

100 TO 500 THOUSAND SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

LESS THAN 100,000 SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

CENTRAL AREA HIGH DENSITY 1,000 S.F. GFA: \_\_\_\_\_

GENERAL MFG. WAREHOUSE 1,000 S.F. GFA: \_\_\_\_\_

PLUS NUMBER OF BAYS: \_\_\_\_\_

RESEARCH/DEVELOPMENT 1,000 S.F. GFA: \_\_\_\_\_

INDUSTRIAL PARK 1,000 S.F. GFA: \_\_\_\_\_

GENERAL LIGHT INDUSTRY 1,000 S.F. GFA: \_\_\_\_\_

ALL INDUSTRY AVERAGE OFFICES 1,000 S.F. GFA: \_\_\_\_\_

GENERAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

MEDICAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

PROFESSIONAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

CIVIC CENTER 1,000 S.F. GFA: \_\_\_\_\_

RESEARCH CENTER 1,000 S.F. GFA: \_\_\_\_\_

**RESTAURANTS**

QUALITY 1,000 S.F. GFA: \_\_\_\_\_

OTHER SIT-DOWN 1,000 S.F. GFA: \_\_\_\_\_

FAST FOOD 1,000 S.F. GFA: \_\_\_\_\_

NUMBER OF SEATS: \_\_\_\_\_

BANKS 1,000 S.F. GFA: \_\_\_\_\_

**HOSPITALS**

GENERAL NUMBERS OF BEDS: \_\_\_\_\_

CHILDREN NUMBER OF BEDS: \_\_\_\_\_

CONVALESCENT NUMBER OF BEDS: \_\_\_\_\_

UNIVERSITY NUMBER OF BEDS: \_\_\_\_\_

VETERANS NUMBER OF BEDS: \_\_\_\_\_

NURSING HOME NUMBER OF BEDS: \_\_\_\_\_

CLINICS NUMBER OF BEDS: \_\_\_\_\_

**EDUCATIONAL**

ALL NUMBER OF STUDENTS: \_\_\_\_\_

4-YEAR UNIVERSITY NUMBER OF STUDENTS: \_\_\_\_\_

JR. COLLEGE NUMBER OF STUDENTS: \_\_\_\_\_

**EDUCATIONAL (CONTINUES)**

**SECONDARY SCHOOL NUMBER OF STUDENTS:** \_\_\_\_\_

**ELEMENTARY SCHOOL NUMBER OF STUDENTS:** \_\_\_\_\_

**COMBINED ELEM./SEC. NUMBER OF STUDENTS:** \_\_\_\_\_

**LIBRARY NUMBER OF STAFF:** \_\_\_\_\_

**MOTEL/HOTEL**

**HOTEL NUMBERS OF ROOMS:** \_\_\_\_\_

**MOTEL NUMBER OF ROOMS:** \_\_\_\_\_

**RESORT HOTEL NUMBER OF ROOMS:** \_\_\_\_\_



**City of Coral Gables  
Development Services Department  
Public School Concurrency**

<b>Application Information</b>	
Application Type:°	
Application Sub-type:	
Application Name:°	LATINA MERRICK
Telephone number:°	305-579-0821
E-mail address:°	NAVARROJO@gflaw.com
Project address:°	351 SAN LORENZO AVE
<b>Contact Information</b>	
Contact Information	Jorge L. Navarro, Esq
Telephone number:°	305-579-0821
E-mail address:°	NAVARROJO@gflaw.com
Local Government Name:	City of Coral Gables
Local Government Telephone Number:	305-460-5235
Local Government E-mail:	Schoolconcurrency@coralgables.com
Local Government Application Number:	(OFFICE USE ONLY)
<b>Property Details</b>	
Master Parcel/Folio Number:°(No dashes)	30-4120-017-1550
Additional Parcel/Folio Numbers: (Separate by a comma (,))	30-4120-017-1560 & 1570
Total Acreage:°	
Previous Use:	
Total Number of Existing Units:	
Demolition Permit#: _____ Date: _____	
Proposed Use:	Mixed Use: Multi-family Apartment / Ground Floor Retail
Single Family Detached Increase in Units:°	
Single Family Attached Increase in Units:°	
Multi-Family Attached Increase in Units:°	13 dwelling units
Total Number of Units Increased:°	13 dwelling units

[Signature]  
 Owner/Architect/Contractor Name (Please circle one) **ATTORNEY-IN-FACT**  
 STATE OF FLORIDA  
 COUNTY OF MIAMI-DADE  
 The foregoing was acknowledged before me this 4 day of March 2015, by Jorge Navarro  
 who is personally known to me,  
 ( ) has produced a \_\_\_\_\_ as identification.

[Signature]  
 NOTARY PUBLIC (SEAL)



**Navarro, Jorge L. (Assoc-Mia-LDZ-RE)**

---

**From:** Rodriguez, Ivan M. <IRodrigu@dadeschools.net> on behalf of Concurrency Management <concurrency@dadeschools.net>  
**Sent:** Monday, April 13, 2015 2:00 PM  
**To:** Navarro, Jorge L. (Assoc-Mia-LDZ-RE)  
**Cc:** Concurrency Management; sbrown@coralgables.com; Rijo-conde, Ana F.; Levine, Michael; Villaamil, Vivian G.; Rodriguez, Ivan M.  
**Subject:** School Concurrency Determination for DR-15-03-0123 Laguna Merrick  
**Attachments:** Laguna Merrick DR-15-03-0123 SP0315XXX217.pdf

Dear Applicant,

Pursuant to State Statutes and the Interlocal Agreement for Public School Facility Planning, the above-referenced application was reviewed for compliance with Public School Concurrency. Accordingly, attached please find the School District's Concurrency Determination. As you will note, the applicable Level of Service (LOS) standards of 100% Florida Inventory of School Housing (FISH) have been met at the three school levels and as such, capacity has been reserved for a one year period, under Master Concurrency Number MA0315032700217.

The reservation term for this Site Plan will expire on April 3, 2016. Concurrency reservation may be extended for additional one-year periods, provided: 1) the City of Coral Gables confirms the application is still valid; 2) you request an extension at least 120 days prior to the expiration date, via email address [concurrency@dadeschools.net](mailto:concurrency@dadeschools.net); and 3) the total reservation period does not exceed six years from the original effective date of this certificate.

Failure to request an extension at least 120 days prior to the expiration date will result in revocation of the reservation, and a new application must be submitted. Extensions will be granted, upon payment of the corresponding review fee and acknowledgement from the local government. The reservation period may not exceed the term of the development approval issued by the City of Coral Gables.

Should you have any questions, please feel free to contact me at 305-995-4501.

Thank you.

Ivan M. Rodriguez, R.A., Director I  
Planning, Design and Sustainability  
Miami-Dade County Public Schools  
1450 NE 2 Avenue, Room 540-A  
Miami, Florida 33132  
(305) 995-4501



# Concurrency Management System (CMS)

Miami Dade County Public Schools

## Miami-Dade County Public Schools

### Concurrency Management System School Concurrency Determination

MDCPS Application Number: SP0315032700217 Local Government (LG): Coral Gables  
 Date Application Received: 3/27/2015 1:24:59 PM LG Application Number: DR-15-03-0123  
 Type of Application: Site Plan Sub Type: Public

Applicant's Name: Laguna Merrick  
 Address/Location: 351 San Lorenzo Ave  
 Master Folio Number: 0341200171550  
 Additional Folio Number(s): 0341200171560, 0341200171570,

PROPOSED # OF UNITS 13  
 SINGLE-FAMILY DETACHED UNITS: 0  
 SINGLE-FAMILY ATTACHED UNITS: 0  
 MULTIFAMILY UNITS: 13

#### CONCURRENCY SERVICE AREA SCHOOLS

CSA Id	Facility Name	Net Available Capacity	Seats Required	Seats Taken	LOS Met	Source Type
5561	FRANCES S TUCKER ELEMENTARY	32	0	0	YES	Current CSA
6741	PONCE DE LEON MIDDLE	27	0	0	YES	Current CSA
7071	CORAL GABLES SENIOR	-592	0	0	YES	Current CSA

#### ADJACENT SERVICE AREA SCHOOLS

\*An Impact reduction of 22.36% included for charter and magnet schools (Schools of Choice).

MDCPS has conducted a public school concurrency review for this application and has determined that it **DOES MEET (Concurrency Met)** all applicable LOS Standards for a Final Development order as adopted in the local Government's Educational Element and incorporated in the Interlocal Agreement for Public School Facility Planning in Miami-Dade County.

Master Concurrency Number: MA0315032700217 Total Number of Units: 13  
 Issue Date: 4/3/2015 2:00:08 PM Expiration Date: 4/3/2016 2:00:08 PM  
 Capacity Reserved: Elementary:0 / Middle:0 / Senior: 0

  
 MDCPS Administrator

  
 MDCPS Authorized Signature

1450 NE 2 Avenue, Room 525, Miami, Florida 33132 / 305-995-7634 / 305-995-4760 fax / concurrency@dadeschools.net

## Maria Lopez

---

**From:** RIVEROJO@gtlaw.com  
**Sent:** Thursday, March 05, 2015 2:11 PM  
**To:** mlopez@rogerdevelopment.com  
**Subject:** FW: 351 San Lorenzo Ave

**From:** Spain, Dona [<mailto:dspain@coralgables.com>]  
**Sent:** Thursday, March 05, 2015 1:56 PM  
**To:** Navarro, Jorge L. (Assoc-Mia-LDZ-RE)  
**Subject:** RE: 351 San Lorenzo Ave

Yes, that is correct. A Historical Significance Determination is not necessary on a vacant parcel.

Dona M. Spain  
Historic Preservation Officer  
City of Coral Gables, Florida  
(305)460-5095

---

**From:** [navarrojo@gtlaw.com](mailto:navarrojo@gtlaw.com) [<mailto:navarrojo@gtlaw.com>]  
**Sent:** Wednesday, March 04, 2015 7:28 PM  
**To:** Spain, Dona  
**Subject:** 351 San Lorenzo Ave

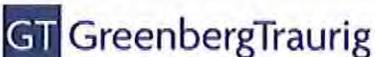
Dona,

I am working on the submittal of a Development Review Committee Application for the development of a Mixed-Use building at the property located at 351 San Lorenzo Avenue (Folio Nos. 03-4120-017-1550/1560 & 1570). The property is currently comprised of .25 Acres of vacant unimproved land. I have attached an aerial of the property for your review. Please confirm that since the property is currently vacant, a Historical Significance Letter will not be required for this particular project.

We appreciate your assistance. Should you have any questions, please do let me know.

Best Regards,

Jorge L. Navarro  
Associate  
Greenberg Traurig, P.A. | 333 S.E. 2nd Avenue | Miami, FL 33131  
Tel 305.579.0821 | Fax 305-961-5310  
[navarrojo@gtlaw.com](mailto:navarrojo@gtlaw.com) | [www.gtlaw.com](http://www.gtlaw.com)



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If you are not an intended recipient of confidential and privileged information in this email, please delete it, notify us immediately at [postmaster@gtlaw.com](mailto:postmaster@gtlaw.com), and do not use or disseminate such information. Please Note: Florida has a very broad Public Records Law. Most written communications to or from State and Local Officials regarding State or Local business are public records available to the public and media upon request. Your email communications may therefore be subject to public disclosure.

## One Merrick Park Traffic Analysis Methodology

March 2, 2015

DPA will undertake a Traffic Impact Analysis as required by the City of Coral Gables. The analyses are for the existing conditions, future conditions with committed development, and the future conditions with project and committed developments.

**Location:** 351 San Lorenzo Avenue in Coral Gables, FL.

**Existing Site:** Vacant

**Proposed Plan:** New residential development consisting of 13 condominium units and 4,000 SF of retail space

The methodology is outlined below:

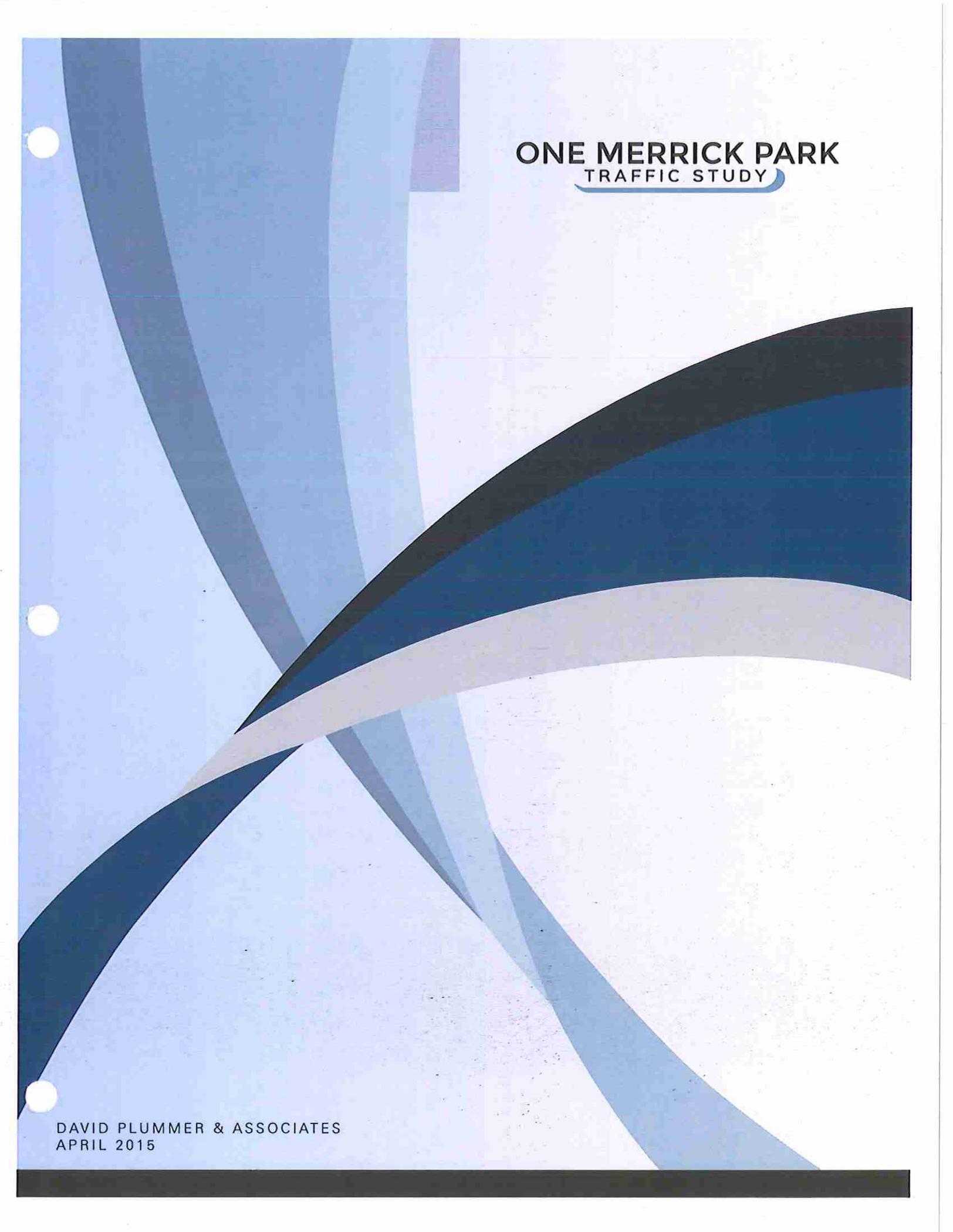
- Traffic Counts (Intersections) – Two-hour turning movement counts will be collected for the AM (7-9 AM) and PM (4-6 PM) hours on a typical weekday at the following intersection:
  - - Le Jeune Road / Altara Avenue (S)
    - Laguna Street / San Lorenzo Avenue (U)
    - Laguna Street / Altara Avenue (U)

S= Signalized  
U=Un-signalized

- Signal Location and Timing – Existing signal phasing and timing for the signalized intersection will be obtained from Miami-Dade County.
- Trip Generation – project trips will be estimated using trip generation information published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9<sup>th</sup> Edition.
- Trip Distribution / Trip Assignment – Net new external project traffic will be assigned to the adjacent street network using the appropriate cardinal distribution from the Miami-Dade Long Range Transportation Plan Update, published by the Metropolitan Planning Organization. Normal traffic patterns will also be considered when assigning project trips.

- Background Traffic - Available Florida Department of Transportation (FDOT) and Miami-Dade County (MDC) counts will be consulted to determine a growth factor consistent with historical annual growth in the area. The growth factor will be applied to the existing traffic volumes to establish background traffic.
- Future Transportation Projects – The 2014 TIP and the 2035 LRTP will be reviewed and considered in the analysis at project build-out.
- Committed Developments – Committed developments will be provided by the city.
- Intersection analysis will be done using Highway Capacity Software (HCS) based on the 2010 Highway Capacity Manual (HCM) or the Synchro software. Operation analysis at driveways providing access to/from the site will also be conducted.

w:\15\15120\methodology\_1.docx



**ONE MERRICK PARK**  
TRAFFIC STUDY

DAVID PLUMMER & ASSOCIATES  
APRIL 2015

**ONE MERRICK PARK**  
**TRAFFIC STUDY**

PREPARED BY:  
**David Plummer & Associates**

PREPARED FOR:  
**Rodger Development Group, Inc.**

PREPARED IN:  
**April 2015**

DPA JOB #:  
**15120**

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## **EXECUTIVE SUMMARY**

The One Merrick Park project will be located at 351 San Lorenzo Avenue in Coral Gables, Florida. The site is located within the Gables Re-development Infill District (GRID), the city's traffic concurrency exception area. The project proposes a new development consisting of a 13 condominium units and 4,000 SF of retail space. Access to and from the proposed parking garage will be provided on a two-way driveway located on Laguna Street. The onsite parking garage provides 45 parking spaces. The provided spaces meet the city's parking requirement.

This traffic study is consistent with the methodology previously discussed with and agreed to by the city of Coral Gables Public Works Department. For the purpose of this traffic study, project buildout is anticipated in 2017.

An assessment of the traffic impacts associated with the proposed project was performed in accordance with the requirements of the city of Coral Gables. All intersections analyzed are currently and projected to operate within the city's LOS standard during the morning and afternoon peak periods.

## 1.0 INTRODUCTION

### 1.1 Project Background

The One Merrick Park project will be located at 351 San Lorenzo Avenue in Coral Gables, Florida (See Exhibit 1). The site is located within the Gables Re-development Infill District (GRID), the city's traffic concurrency exception area. The project proposes a new development consisting of a 13 condominium units and 4,000 SF of retail space. Access to and from the proposed parking garage will be provided on a two-way driveway located on Laguna Street. The onsite parking garage provides 45 parking spaces. The provided spaces meet the city's parking requirement. See Appendix A for site plan.

This traffic study is consistent with the methodology previously discussed with and agreed to by the city of Coral Gables Public Works Department. For the purpose of this traffic study, project buildout is anticipated in 2017.

### 1.2 Study Objective

The purpose of the study is to provide a traffic study that meets the requirements of the city of Coral Gables for the project. This study includes vehicular flow, trip generation, intersection analyses.



■ Project Location

# Exhibit 1

## Location Map



### 1.3 Study Area and Methodology

The analysis undertaken follows the study methodology previously discussed with and approved by the city of Coral Gables Public Works Department (See Appendix B). A synopsis of the methodology is as follows:

- Traffic Counts (Intersections) – Two-hour turning movement counts were collected for the AM (7-9 AM) and PM (4-6 PM) hours on March 17, 2015 at the following intersections:
  - Le Jeune Road / Altara Avenue (S)
  - Laguna Street / San Lorenzo Avenue (U)
  - Laguna Street / Altara Avenue (U)
- Background Traffic. Average Annual Daily Traffic (AADT) volumes were reviewed to determine the appropriate background growth applicable to this area. This growth rate was applied to existing traffic counts to establish future traffic conditions without project for the anticipated project buildout year.
- Committed Developments. The city was consulted to determine any committed development in the vicinity of the project site. Traffic associated with these projects was considered in the analysis.
- Project Traffic. Trip generation for the project was estimated using trip generation information published by the Institute of Transportation Engineers (ITE) publication Trip Generation Manual, 9th Edition. Net new external project traffic was assigned to the adjacent street network using the appropriate cardinal distribution from the Miami-Dade 2040 Long Range Transportation Plan, published by the Metropolitan Planning Organization.
- Future Traffic Conditions. Project traffic was combined with projections of future traffic without project. Intersection capacity analyses were performed for this condition.

## 2.0 DATA COLLECTION

Data collection for this study included roadway characteristics, intersection traffic counts, signal timing, and seasonal adjustment factors. The data collection effort is described in the following sections.

### 2.1 Roadway Characteristics

#### LeJeune Road

LeJeune Road is a major arterial that provides north/south access throughout Miami-Dade County. LeJeune Road is a two-way, four-lane, divided roadway. On-street parking is prohibited. FDOT has jurisdiction of this roadway. The speed limit is 40 mph.

#### Laguna Street

Laguna Street is a local roadway that provides north/south access from SW 40<sup>th</sup> Street (Bird Road) to San Lorenzo Avenue. Laguna Street is a two-way, two-lane, undivided roadway with on-street parallel parking on both sides of the roadway. The city of Coral Gables operates and maintains Laguna Street. The speed limit is not posted within the study limits.

#### San Lorenzo Avenue

San Lorenzo Avenue within the project area is a local roadway that provides east/west access between LeJeune Road and Ruiz Avenue. Between LeJeune Avenue and Ponce de Leon Boulevard, San Lorenzo Avenue is a two-way, two-lane, undivided roadway with on-street parallel parking on portions of the roadway. The city of Coral Gables operates and maintains San Lorenzo Avenue. The speed limit is not posted within the study limits.

#### Altara Avenue

Altara Avenue is a local roadway that provides east/west access within the study area. Altara Avenue is a two-way, two-lane, undivided roadway with on-street parallel parking on both sides of

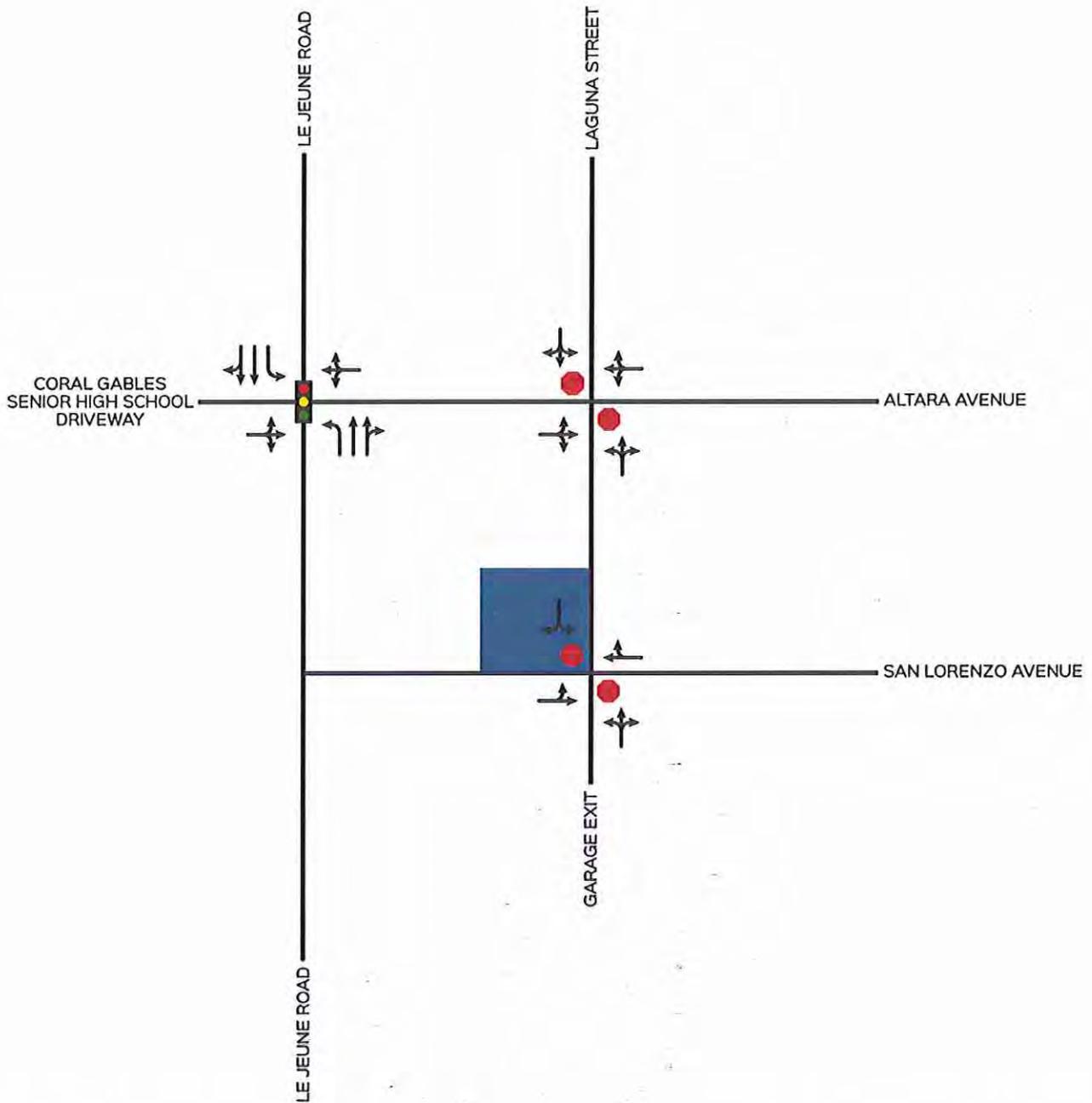
the roadway. The city of Coral Gables operates and maintains Altara Avenue. The speed limit is not posted within the study limits.

## **2.2 Traffic Counts**

Vehicle turning movement counts were taken on March 17, 2015 at the study intersections during the AM and PM peak periods. The counts were adjusted to reflect average annual daily traffic conditions using the latest weekly volume adjustment factors were obtained from FDOT. A weekly volume adjustment factor of 0.99 (Miami-Dade County South) corresponding to the dates of the counts was used. Traffic counts and FDOT season factors are provided in Appendix C.

## **2.3 Intersection Data**

Signal timing data was obtained from Miami-Dade County for the signalized intersection analyzed in this study. This information was used for the signal phasing and timing required for the intersection capacity analysis. A field survey was also conducted to obtain the intersection lane configurations to be used in the intersection analysis. Exhibit 2 shows the existing lane configurations at the analyzed intersections. Existing volumes for the morning and afternoon peak period at the intersections analyzed are shown in Exhibit 3. The signal timings are also provided in Appendix C.

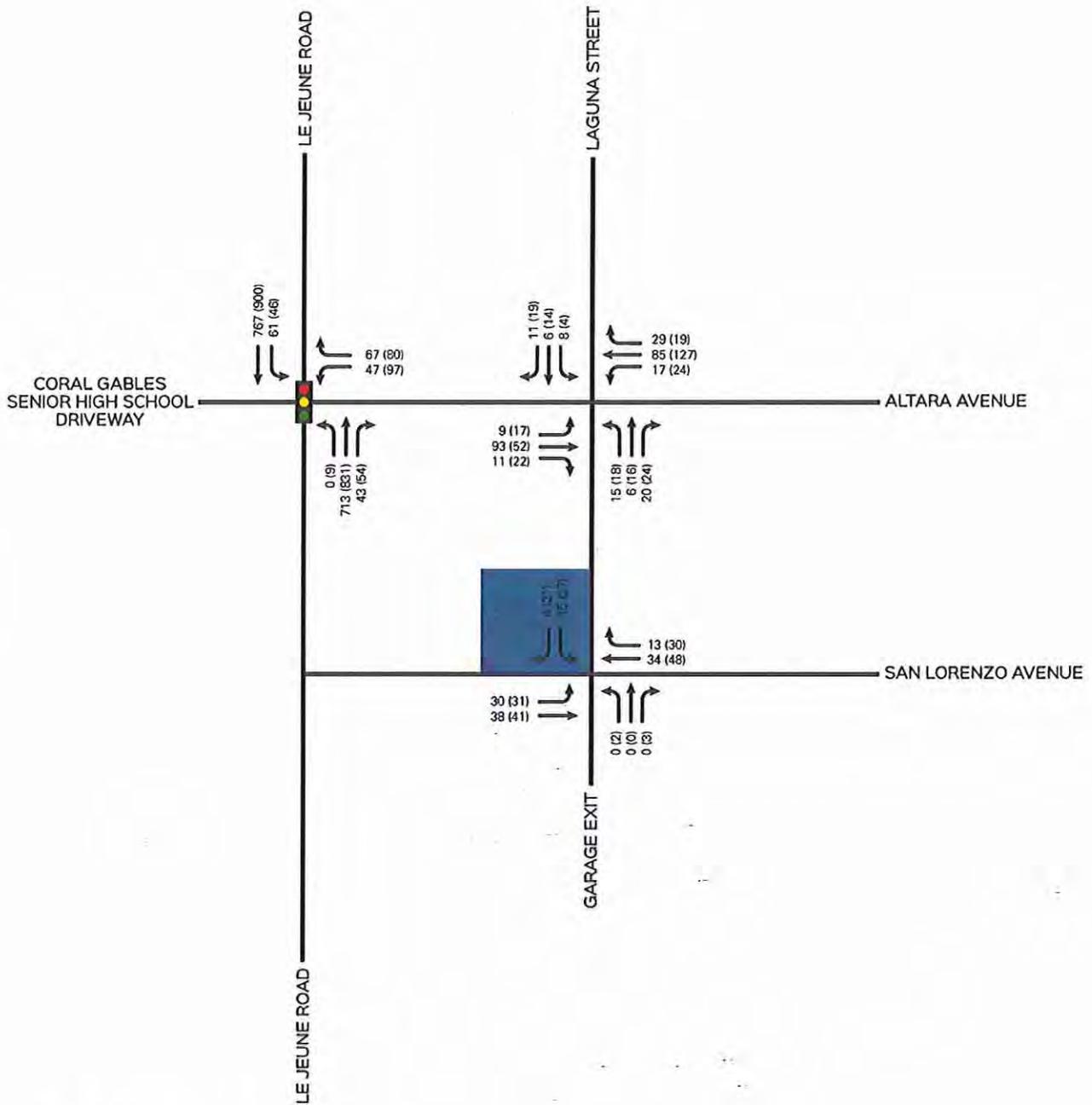


■ Project Location

## Exhibit 2

### Existing Lane Configurations





00 AM Peak Hour Volume  
 (00) PM Peak Hour Volume

■ Project Location

### Exhibit 3

### Existing AM & PM Peak Period Traffic Hour Volumes



## **2.4 Walking / Other Modes of Transportation**

Pedestrian activity is an essential element within the CBD of Coral Gables. The Coral Gables Trolley service (which traverses the Ponce de Leon Boulevard corridor) provides frequent service to the area. The Douglas Road Metrorail Station is approximately 0.4 miles from the project site. This area is also serviced by Miami-Dade transit bus routes 56 with bus stop located within 0.1 of a mile from the project site. The project site is located in an area where pedestrian activity is common between existing site and surrounding properties such as:

Village of Merrick Park – located just south of Altara Avenue

The Collection – located west of the project site

## **2.5 Intersection Capacity Analysis**

The proposed project is located within the city of Coral Gables Redevelopment and Infill District (GRID), which is a Transportation Concurrency Area established by the city to promote development within its boundaries. In essence, this ordinance establishes that roadways within the geographical area of the GRID are exempt from the citywide traffic LOS Standards.

The Synchro software was used to perform intersection capacity analysis at the analyzed intersections. Synchro is a macroscopic analysis and optimization software application that implements the Intersection Capacity Utilization method for determining intersection capacity. Exhibit 4 shows the resulting LOS for existing conditions during morning and afternoon peak periods. The results show that all intersections operate within the city's LOS standards (LOS E). Analysis worksheets are included in Appendix D.

**Exhibit 4**  
**Existing Intersection Capacity Analysis**  
**Weekday AM and PM Peak Period Conditions**

<b>Intersection</b>	<b>Signalized/ Unsignalized</b>	<b>Direction</b>	<b>AM Peak LOS</b>	<b>PM Peak LOS</b>	<b>LOS Standard</b>
Le Jeune Road / Altara Avenue	S	NB	A	A	E
		SB	A	A	E
		WB	E	E	E
		<i>Overall</i>	A	A	E
*Laguna Street / San Lorenzo Avenue	U	NB	A	A	E
		SB	B	A	E
*Laguna Street / Altara Avenue	U	NB	B	B	E
		SB	B	B	E

\*Eastbound/westbound movements are free-flow and do not receive a LOS.

Source: David Plummer & Associates

### **3.0 PLANNED AND PROGRAMED ROADWAY IMPROVEMENTS**

The 2014 Miami-Dade County Transportation Improvement Program (TIP) and the 2040 Long Range Transportation Program were reviewed to identify any programmed or planned projects within the limits of the study area established. These documents show no officially programmed or planned capacity improvement projects within the study area.

## **4.0 FUTURE TRAFFIC CONDITIONS**

### **4.1 Background Traffic and Committed Developments**

Average Daily Traffic counts published by the Miami-Dade Public Works Department and the FDOT were reviewed to determine historic growth in the area. This analysis indicated that the annual growth rate is 0.4%. However, a conservative 1.0% annual growth rate was used for the study. Historic growth rate documentation is included in Appendix C.

The city was consulted to determine any committed development in the vicinity of the project site. Five committed development were considered for estimating future traffic volumes in this study: The Collection Residences, Merrick Manor, and 4311 Ponce. Exhibit 5 provides a tabulation of AM and PM peak hour trips generated by the committed development, along with the approved land uses. Committed development information is included in Appendix E.

**Exhibit 5  
Committed Development Trip Generation\***

Project	ITE Land Use	Size/Units	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
			In	Out	Total	In	Out	Total
Merrick Manor	Apartments Land Use 220	188 DU	19	77	96	79	42	121
	Specialty Retail Land Use 826	1,900 SF	0	0	0	2	3	5
	Restaurant Land Use 931	5,600 SF	3	2	5	28	14	42
4311 Ponce	Office Building Land Use 710	24,133 SF	33	5	38	6	30	36
	Specialty Retail Land Use 826	11,457 SF	0	0	0	14	17	31
	Residential Condominiums (Land Use 230)	8 DU	1	6	7	5	3	8
The Collection Residences	Residential Condominiums (Land Use 230)	130 DU	11	53	64	50	25	75
	Automobile Sales (Land Use 841)	12,000 SF	17	6	23	13	18	31
	Supermarket (Land Use 850)	20,000 SF	42	26	68	97	93	190

\* Gross vehicle trip ends. Appendix D reflects adjustments for existing land uses, pass-by, internal, and transit trips.

## 4.2 Future Without Project Intersection Capacity Analysis

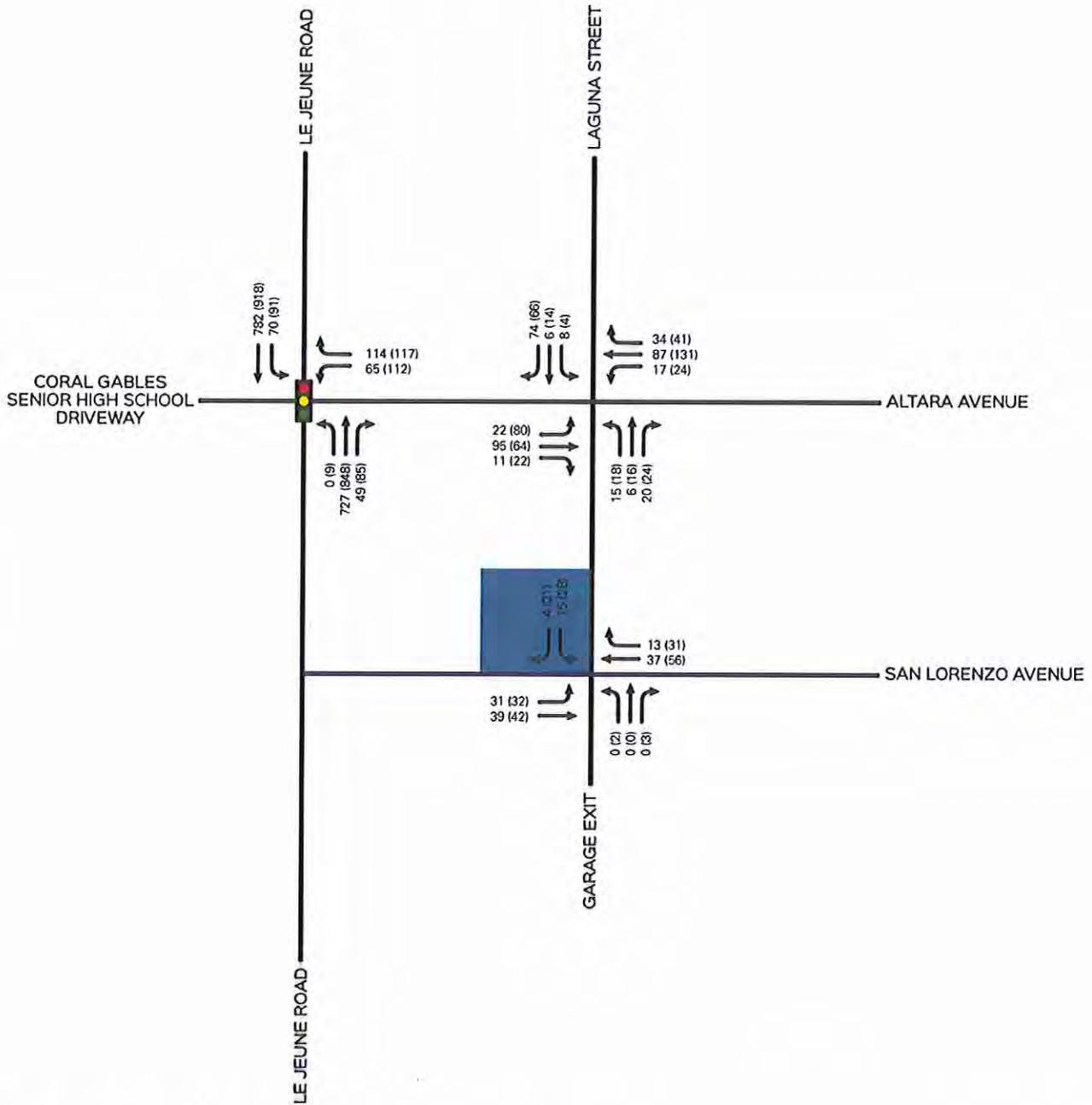
Future without project conditions was obtained by adding background traffic with committed development trips. Exhibit 6 shows the resulting LOS for morning and afternoon peak conditions for future without project. Exhibit 7 shows the projected turning movements for future without project traffic. All intersections operate within the city's LOS standards (LOS E). Capacity worksheets are included in Appendix D.

**Exhibit 6**  
**Future without Project Intersection Capacity Analysis**  
**Weekday AM and PM Peak Period Conditions**

Intersection	Signalized/ Unsignalized	Direction	AM Peak LOS	PM Peak LOS	LOS Standard
Le Jeune Road / Altara Avenue	S	NB	A	A	E
		SB	A	A	E
		WB	E	E	E
		<i>Overall</i>	<b>B</b>	<b>B</b>	<b>E</b>
*Laguna Street / San Lorenzo Avenue	U	NB	B	B	E
		SB	B	B	E
*Laguna Street / Altara Avenue	U	NB	A	A	E
		SB	B	A	E

\*Eastbound /Westbound movements are free-flow and do not receive a LOS.

Source: David Plummer & Associates



00 AM Peak Hour Volume  
 (00) PM Peak Hour Volume  
 ■ Project Location

# Exhibit 7

## Future Without Project Intersection Capacity Analysis



### 4.3 Project Trip Generation

Trip generation for the proposed project and the existing use was estimated using the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition. This manual provides gross trip generation rates and/or equations by land use type. These rates and equations estimate vehicle trip ends at a free-standing site's driveways. See Appendix F for project trip generation worksheets.

The proposed development plan incorporates residential and retail land uses, which can satisfy the work trip, dining, and retail needs for some residents, employees, and visitors without making a trip off-site. An internalization matrix was developed to establish the appropriate number of internal project trip. Internal capture rates used are also included in Appendix F.

The project site is located in an area where pedestrian activity is common between the existing site and surrounding properties. The project site is about 0.2 miles from the Coral Gables trolley which can connect to bus routes from Miami-Dade Transit and the Douglas Road Metrorail Station. This area is also serviced by Miami-Dade transit bus routes 0.1 mile from the project site. However for a conservative analysis the adjustment to account for other modes of transportation was not applied. The project trip generation summary is provided in Exhibit 8.

**Exhibit 8  
Project Trip Generation Summary**

Proposed ITE Land Use Designation <sup>1</sup>	Size/Units	AM Peak Hour Vehicle Trips			PM Peak Hour Vehicle Trips		
		In	Out	Total	In	Out	Total
Residential Condominium (Land Use 230)	13 DU	2	8	10	8	3	11
		$Ln(T) = 0.80Ln(X) + 0.26$			$Ln(T) = 0.82Ln(X) + 0.32$		
		17% In		83% Out	67% In		33% Out
Specialty Retail (Land Use 826)	4,000 SF	0	0	0	5	6	11
		--			$Rate = \frac{2.71 \text{ Trips}}{1000 \text{ SF GFA}}$		
		-- In		-- Out	44% In		56% Out
Subtotal Gross Trips		2	8	10	13	9	22
Internalization <sup>2</sup>	AM 0% PM 9.1%	-0	-0	-0	-1	-1	-2
<b>Net External Trips (Proposed)</b>		<b>2</b>	<b>8</b>	<b>10</b>	<b>12</b>	<b>8</b>	<b>20</b>

<sup>1</sup> Based on ITE Trip Generation Manual, Ninth Edition

<sup>2</sup> Based on ITE Trip Generation Manual User's Guide and Handbook, Ninth Edition,

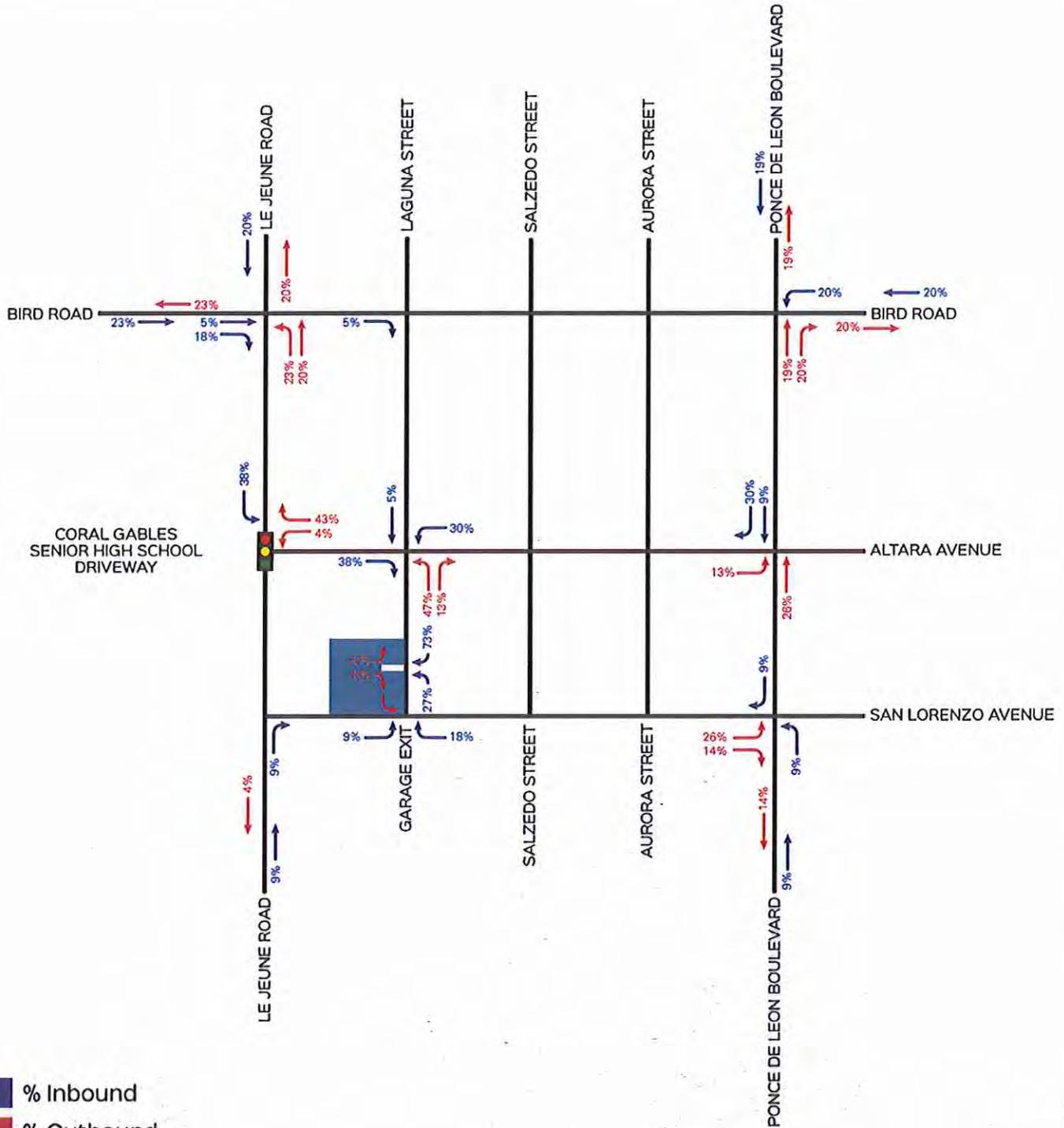
#### 4.4 Project Trip Assignment

Project traffic was distributed and assigned to the study area using the Cardinal Distribution for TAZ 1081 shown in Exhibit 9. The Cardinal Distribution gives a generalized distribution of trips from a TAZ to other parts of Miami-Dade County. The distribution can be summarized as follows: 39.12% to the north, 17.95% to the south, 19.15% to the east, and 23.43% to the west. For estimating trip distribution for the project traffic, consideration was given to conditions such as the roadway network accessed by the project traffic, roadways available to travel in the desired direction, and attractiveness of traveling on a specific roadway. Project trip distribution for the proposed project is shown in Exhibit 10.

**Exhibit 9**  
**Cardinal Distribution (TAZ 1081)**

Direction	Distribution
NNE	21.09%
ENE	12.76%
ESE	6.79%
SSE	3.45%
SSW	14.49%
WSW	13.18%
WNW	10.26%
NNW	18.03%
Total	100.00%

Source: Miami-Dade Long Range Transportation Plan



- % Inbound
- % Outbound
- Project Location

## Exhibit 10

### Project Trip Distribution



## 4.5 Future With Project Intersection Capacity Analysis

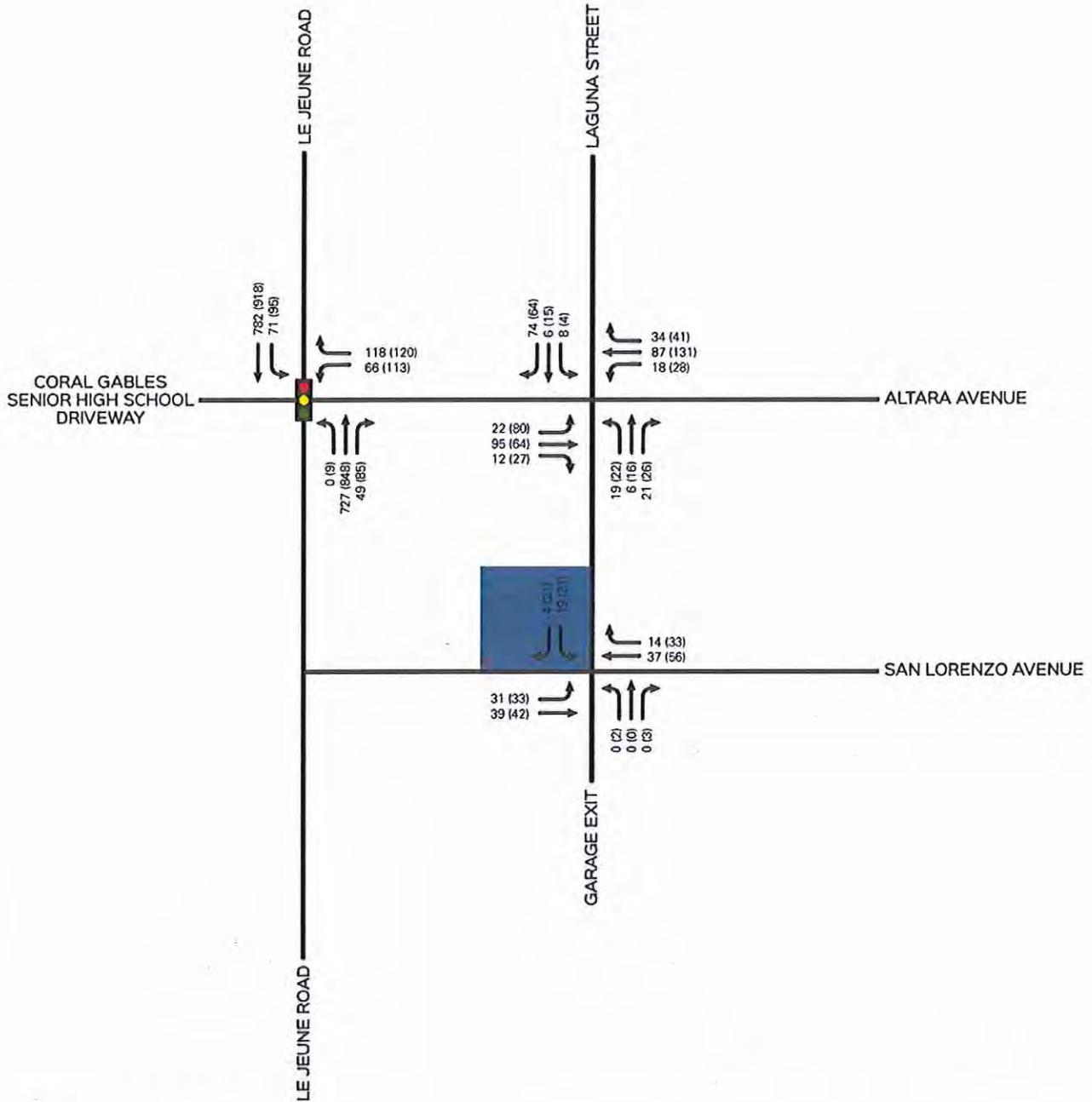
The trip assignments in the previous section, traffic projections for the project, committed developments and background growth were combined to obtain future traffic with project at the analyzed intersections. Exhibit 11 shows the resulting LOS for the morning and afternoon peak conditions for future with project. Capacity worksheets are included in Appendix D. Exhibit 12 shows the projected turning movement volumes for future with project. The analysis shows that all intersections analyzed are projected to operate within the city's LOS standard during the morning and afternoon peak periods.

**Exhibit 11**  
**Future with Project Intersection Capacity Analysis**  
**Weekday AM and PM Peak Period Conditions**

Intersection	Signalized/ Unsignalized	Direction	AM Peak LOS	PM Peak LOS	LOS Standard
Le Jeune Road / Altara Avenue	S	NB	A	A	E
		SB	A	A	E
		WB	E	E	E
		<i>Overall</i>	<b>B</b>	<b>B</b>	<b>E</b>
*Laguna Street / San Lorenzo Avenue	U	NB	A	A	E
		SB	B	A	E
*Laguna Street / Altara Avenue	U	NB	B	B	E
		SB	B	B	E
Laguna Street / Project Driveway	U	EB	A	A	N/A

\*Eastbound/Westbound movements are free-flow and do not receive a LOS.

Source: David Plummer & Associates



00 AM Peak Hour Volume  
 (00) PM Peak Hour Volume

■ Project Location

## Exhibit 12

### Future With Project Intersection Capacity Analysis



## **6.0 CONCLUSIONS**

An assessment of the traffic impacts associated with the proposed project was performed in accordance with the requirements of the city of Coral Gables. All intersections analyzed are currently and projected to operate within the city's LOS standard during the morning and afternoon peak periods.