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ARTICLE 5 – DEVELOPMENT STANDARDS

Division 14 – Parking, Loading, and Driveway Requirements.

Section 5-1401. Purpose and Applicability.

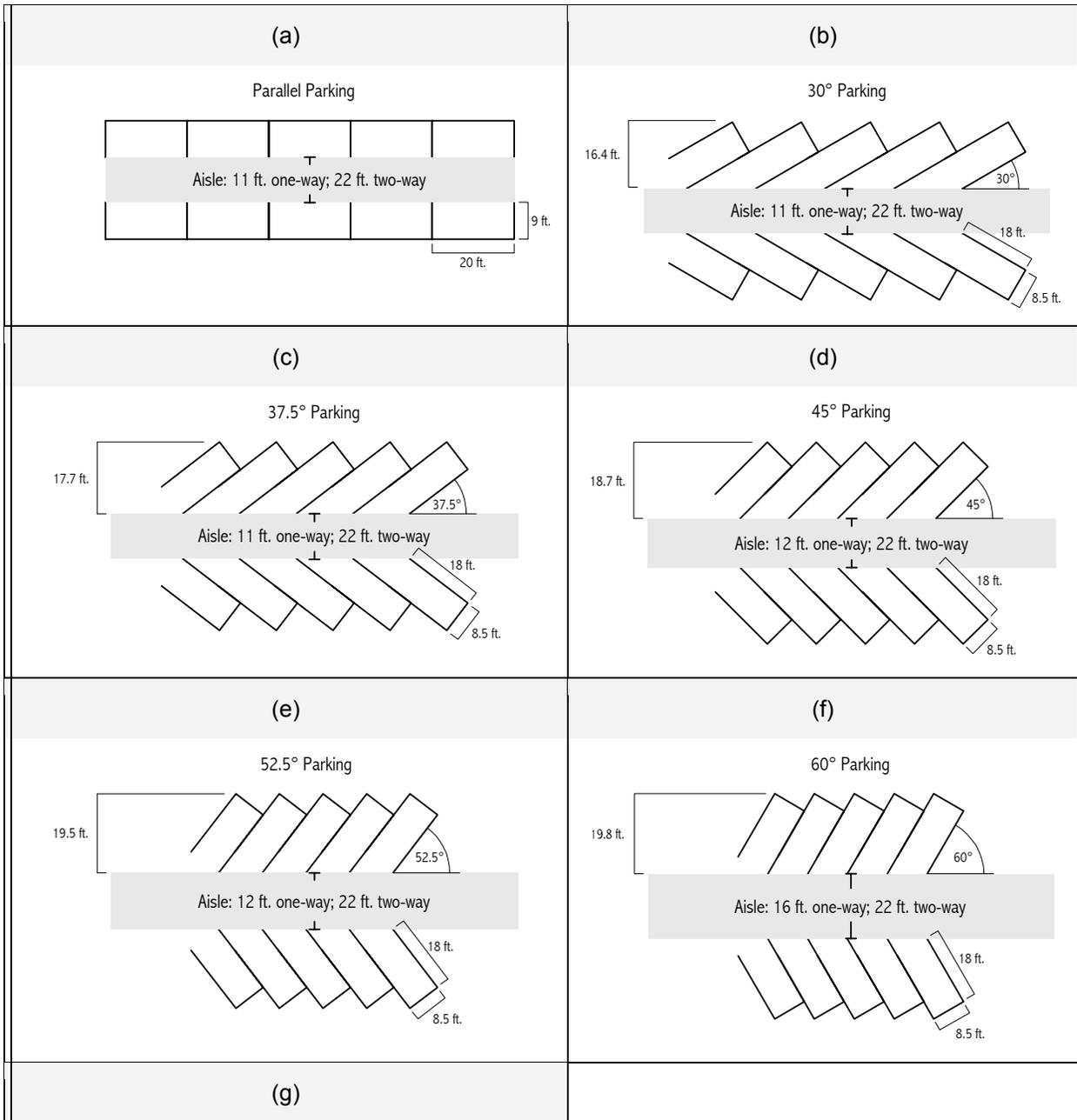
- A. Purpose.** The purpose of this Division is to ensure that:
1. Adequate off-street parking is provided for uses that are permitted by these regulations.
 2. Vehicular use areas are designed and lighted to promote public safety.
 3. Vehicular use areas and landscaped areas relate to each other in a manner that protects and enhances community character.
 4. Adequate loading areas are provided that do not interfere with the function of other vehicular use areas.
 5. Sufficient parking is provided in nonresidential areas that are near residential neighborhoods, so that the character and quality of life in the residential neighborhoods are protected from overflow parking.
- B. Applicability.**
1. The requirements of this Division apply to:
 - a. New buildings, uses, or structures.
 - b. The net new area of any building, structure, or outdoor use that is modified or expanded.
 - c. The net new parking demand generated by a change in the use of all or part of a building, structure, or property.
 2. Parking and loading areas that are required by this Division shall be maintained for as long as the use to which they relate is continued.

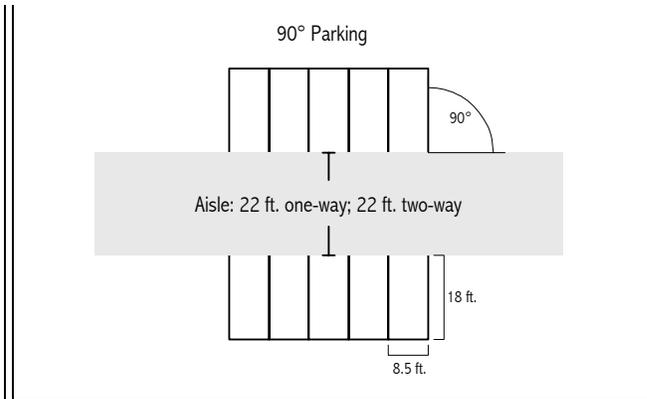
Section 5-1402. Geometric standards for parking and vehicular use areas.

- A. Dimensions and configuration of parking spaces.**
1. Required parking space dimensions:
 - a. Parallel parking spaces: nine (9) feet by twenty (20) feet
 - b. Angled parking spaces: eight and one-half (8.5) feet by eighteen (18) feet.
 - c. Disabled parking spaces shall be dimensioned in accordance with Americans with Disabilities Act Accessibility Guidelines for Buildings and Facilities (ADAAG) standard 4.6., as amended.
 2. Wheel stops and curbing. Precast concrete wheel stops or curbing shall be provided for all angled parking spaces that abut a sidewalk such that cars are curbed at sixteen and one-half (16.5) feet. The balance of the required depth of the parking spaces between the wheel stop or curb and the sidewalk shall be clear of obstructions.
 3. Required aisle widths. Minimum required aisle widths shall be as follows:

Parking Angle	One-Way Aisle	Two-Way Aisle
0° (parallel) (a); 30° (b); 37.5° (c)	11 ft.	22 ft.
45° (d)	12 ft.	22 ft.
52.5° (e)	14 ft.	22 ft.
60° (f)	16 ft.	22 ft.
90° (g)	22 ft.	22 ft.

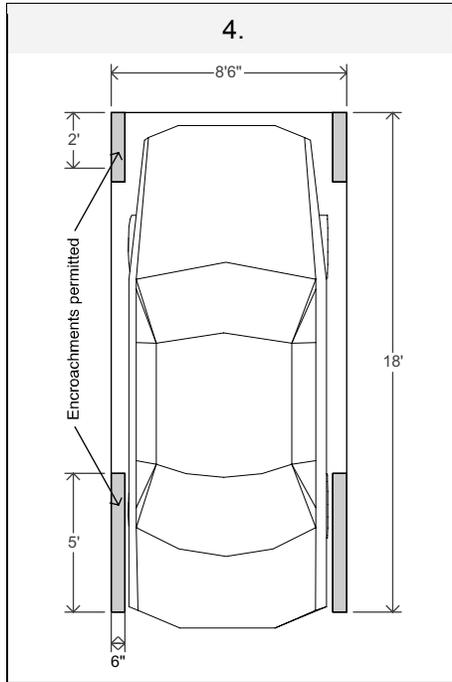
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4. Structured parking spaces. Encroachments of no more than six (6) inches are permitted in the front two (2) feet and rear five (5) feet of the length of structured parking spaces along either of the long edges of the parking space but not both.



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5. Dimensions of garages and carports.
a. The minimum dimensions of garages and carports are:

Type	Interior Width	Interior Length
One-car garage	12 ft.	22 ft.
Two-car garage	22 ft.	22 ft.
Carport	10 ft.	20 ft.

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1 the property line, the owner of record of such premises or building shall be required to
2 construct and maintain a driveway across such parkway between the property line and
3 the street pavement.
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5 **B. General Location.**

- 6 1. Special Use districts. All required parking in S Districts shall be provided behind buildings
7 and/or in the interior side setback area behind the front building line, except if:
8 a. there is no principal building or the principal building is too small to screen the
9 required parking; or
10 b. the use of the property is a marina, cemetery, or open space area.
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12 **C. Setbacks.**

- 13 1. Setbacks from buildings. All parts of parking spaces shall be set back from building
14 entrances and exits the greater of:
15 a. 3 feet, or
16 b. the width of the door at the point of entrance or exit.
17 2. Parking garages and accessory decks (> 3.5 ft. in height). Parking garages and
18 accessory decks of a height that is greater than three and one-half (3.5) feet above
19 established grade are subject to the same setback regulations as principal buildings.
20 3. Parking garages and accessory decks (<= 3.5 ft. in height). Parking garages and
21 accessory decks of a height that is less than three and one-half (3.5) feet above
22 established grade shall be set back a sufficient distance to comply with perimeter
23 landscaping and sight triangle requirements.
24 4. Parking garages (underground). There is no minimum setback for parking garages or
25 parts thereof that are located completely underground, below established grade.
26 5. Vehicular use areas. Vehicular use areas shall be set back:
27 a. a sufficient distance to comply with perimeter landscaping and sight triangle
28 requirements; or
29 b. if no perimeter landscaping requirement or sight triangle applies: eighteen (18) inches
30 from all property lines.
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32 **Section 5-1404. Materials, Construction, and Drainage.**

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34 **A. Surfacing.** Surfacing of all access aisles, driveways and off-street parking areas shall be
35 composed of one or more of the following:

- 36 1. Asphalt.
37 2. Chatahoochee gravel laid in asphalt with all loose gravel removed.
38 3. Clay or cement brick.
39 4. Concrete.
40 5. Decorative concrete pavers.
41 6. Loose gravel, provided that areas of loose gravel are set back 17 feet from all property
42 lines and bordered by another permitted driveway material.
43 7. Rock laid in asphalt with all loose gravel removed.
44 8. Wood block.
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46 **B. Drainage.** Parking areas shall be drained according to the standards set forth in
47 _____, as amended.
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49 **C. Engineering standards.** The design and materials of parking spaces, access aisles,
50 driveways, points of ingress and egress, and turnarounds and other related items not
51 specifically addressed in this Division shall comply with the technical standards promulgated
52 or approved by the Director of the Public Works Department.
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54 **Section 5-1405. Landscaping, Screening, and Design.**

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A. In general. Landscaping shall be provided as required by Article 5, Division 11.

B. Screening of integrated structured parking (MF-2, C, and MX Districts).

1. **When required.** Screening of parking that is structurally and architecturally integrated into or located under a building is required pursuant to this Section 5-1405.B.2. when:
 - a. the building is in an MF-2, C, or MX District;
 - b. any part of the area in or under the building that is used for parking (from finished floor to ceiling) is located above established grade and closer than twenty (20) feet to the front building setback line; and
 - c. no intervening use (e.g., retail, lobby, etc.) is located between the parking and the front setback line at ground level.
2. **Screening requirement.** Portions of buildings which must be screened pursuant to this Section shall be screened as follows:
 - a. a decorative wall or fence that is at least four and one-half (4.5) feet in height shall be provided along the portion of the building that is used for off-street parking, except at points of ingress and egress; and
 - b. urban open space and landscaping that screens the building to a height of seven (7) feet at the time of planting shall be provided between the fence and the building.

C. Parking garage exterior façade treatment.

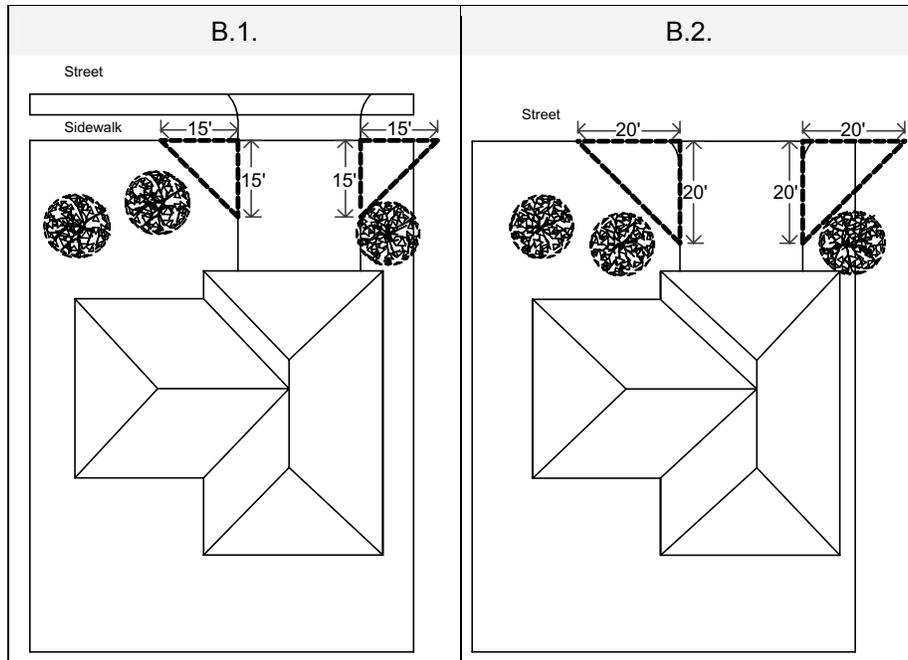
1. The exterior façades of parking garages shall be designed and improved so that the use of the building for parking is not readily apparent.
2. Parking garages shall reflect the architectural character and exterior finishes of the principal building that is to be served.

Section 5-1406. Visibility Triangles.

A. Generally. All triangles of visibility that are required by this Section 5-1406 shall be kept clear of visual obstructions between a height of three (3) feet and eight (8) feet above established grade.

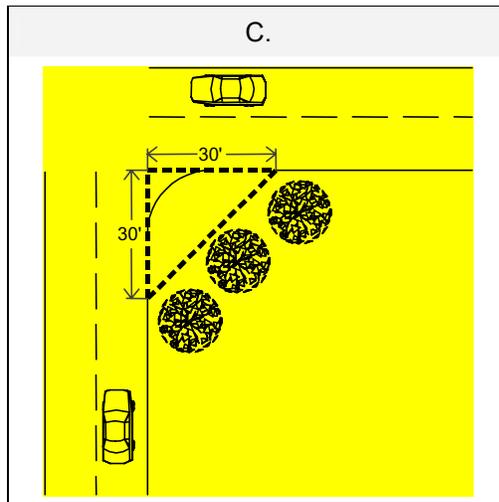
B. Ingress and egress driveways. All ingress and egress driveways in residential and Special Use Districts shall provide triangles of visibility as follows:

1. If a sidewalk is located between the property line and the street, then the legs of the triangle of visibility shall:
 - a. be fifteen (15) feet long; and
 - b. meet at the point of intersection of the driveway and the edge of the sidewalk that is closest to or on the property line.
2. If there is no sidewalk located between the property line and the street, then the legs of the triangle of visibility shall:
 - a. be twenty (20) feet long; and
 - b. meet at the point of intersection of a line that extends from the edge of the driveway and a line that extends from the edge of pavement of the abutting street (flare outs are included within the triangle of visibility).



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- C. Street intersections.** Triangles of visibility shall be maintained at all street intersections within or abutting residential and special use districts. The legs of the triangles of visibility shall:
1. Be a minimum of thirty (30) feet long; and
 2. Meet at the point of intersection of a line that extends from the edge of pavement of the intersecting streets (curb radii are included within the triangle of visibility).



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Section 5-1407. Illumination.

- A. Intensity.** Illumination of vehicular use areas, parking, and pedestrian use areas shall be provided at the following intensities:

1. In general: one-third (1/3) foot-candle on the surface of the vehicular use area.
2. Non-enclosed parking and pedestrian use areas that are located in, on, or under buildings: one (1) foot-candle on the surface of the parking and pedestrian use area.
3. No luminance ratio shall exceed twelve-to-one (12:1).

B. Timing. Illumination of vehicular use areas, parking, and pedestrian use areas shall be provided during the following time periods:

1. Group E, F, and G occupancies (as defined by the Florida Building Code): dusk until thirty (30) minutes after the end of business each operating day.
2. Group H occupancies (as defined by the Florida Building Code): dusk until dawn every day.

C. Design. All lights shall be deflected, shaded, and focused away from adjacent properties, and lighting shall be designed so that it does not disturb passing vehicular traffic and the use of adjacent properties.

Section 5-1408. Common driveways and remote off-street parking

A. Common driveways. Adjacent properties are permitted to share a common driveway, provided:

1. The property owner(s) submit an appropriate restrictive covenant or access easement in recordable form acceptable to the City Attorney; and
2. The restrictive covenant or access easement provides for the continued existence of the shared driveway until such time as the City Manager releases the obligation of the restrictive covenant or access easement.

B. Remote off-street parking. Remote off-street parking is permitted in the CBD, provided:

1. The perimeter of the remote off-street parking facilities is located within three hundred (300) feet of the perimeter of the building site;
2. The remote parking facilities are not located in a single-family zoning district;
3. The property owner(s) submit an appropriate restrictive covenant or parking easement in recordable form acceptable to the City Attorney; and
4. The restrictive covenant or parking easement provides for the continued use of the remote parking until such time as the City Manager releases the obligation of the restrictive covenant or parking easement.

Section 5-1409. Amount of Required Parking

A. Exemptions from required parking. Buildings that are located within the Central Business District (CBD) that have a floor-area-ratio of 1.25 or less (1.45 or less if Mediterranean bonus is used) are not required to provide off-street parking for any uses except residential units and restaurants.

B. Calculation of parking requirements.

1. Required parking shall be provided for each use on a building site, according to the following table:

USE	MINIMUM PARKING REQUIREMENT
RESIDENTIAL	
Attached Dwellings	2 spaces per unit
Detached Dwellings	2 spaces per unit (must be covered or enclosed)

USE	MINIMUM PARKING REQUIREMENT
Live - Work	1 space per unit, plus 1 space per 350 sq. ft. of "work" area
NON-RESIDENTIAL	
Adult Uses	1 space per 350 sq. ft. of floor area
Alcoholic Beverage Sales	1 space per 350 sq. ft. of floor area
Animal Grooming & Boarding	1 space per 250 sq. ft. of floor area
Assisted Living Facilities	1 space per full-time employee, plus 1 space per 3 residents of maximum capacity
Auto Service Stations	2 spaces per fuel pump
Bed And Breakfast	1 space, plus 1 space per sleeping room
Camp	1 space per full-time employee, plus 1 space per 4 students aged 16 years or older based on maximum capacity.
Cemeteries	If services provided in a building, 1 space per 4 fixed seats plus 1 space for each 40 sq. ft. of floor area used for movable seats.
Community Center	1 space per 250 sq. ft. of floor area
Congregate Care	1 space per full-time employee, plus 1 space per 3 residents at maximum capacity
Day Care	1 space per 800 sq. ft. of floor area
Educational Facilities	1 space per 100 sq. ft. of floor area or 1 space per 10 seats, whichever is greater
Funeral Homes	1 space per 4 fixed seats plus 1 space for each 40 sq. ft. of floor area used for temporary seating.
Golf or Tennis Grounds	4 spaces per hole (golf) 3 spaces per court (tennis) 1 space per 18 linear feet of bleachers
Group Homes	1 space per full-time employee, plus 1 space per 3 beds
Heliport And Helistop	1 space per tie-down
Hospitals	2 spaces per patient bed
Indoor Recreation / Entertainment	The greater of 1 space per 5 fixed seats or 1 space per 300 sq. ft. of floor area
Manufacturing	1 space per 300 sq. ft. office floor area, plus 1 space per 1,000 sq. ft. all other floor area
Marinas And Marina Facilities	1 per marina slip, plus 1 per 350 sq. ft. of floor area of marina facilities
Medical Clinic	1 space per 200 sq. ft. of floor area
Mixed Use or Multi-Use	Parking shall be provided for each use in the mix of uses in correlation with the requirements of this table.
Municipal Facilities	1 space per 4 visitors during estimated peak use periods, except that neighborhood parks shall not be required to include parking spaces. Municipal golf or tennis facilities shall provide parking pursuant to the Golf or Tennis Grounds parking requirements.
Nursing Homes	1 space per full-time employee, plus 1 space per 3 beds
Offices	1 space per 300 sq. ft. of floor area
Outdoor Recreation / Entertainment	1 space per 4 visitors during estimated peak use periods
Outdoor Retail Sales, Display And/Or Storage	1 space per 350 sq. ft. of land area delineated or put to such use

USE	MINIMUM PARKING REQUIREMENT
Overnight Accommodations	1 space, plus 1 space per sleeping room
Private Club	1 space per 250 sq. ft. of floor area
Private Yacht Basin	3 spaces per 4 yacht slips
Public Transportation Facility	1 space per 100 sq. ft. of terminal and station area
Religious Institutions	1 space per 5 fixed seats plus 1 space per 50 sq. ft. of assembly room area without fixed seats (not including classrooms).
Research And Technology Uses	1 space per 300 sq. ft. office floor area, plus 1 space per 1,000 sq. ft. all other floor area
Restaurants	12 spaces per 1,000 sq. ft. of floor area
Restaurants, Fast Food	12 spaces per 1,000 sq. ft. of floor area
Retail Sales And Services	1 space per 250 sq. ft. of floor area
Sales and/or Leasing Offices	1 space per 300 sq. ft. of floor area
Schools	1 space per full-time employee, plus 1 space per 4 students aged 16 years or older based on maximum capacity.
Self-Storage Warehouses	1 space per 300 sq. ft. office floor area, plus 1 space per 1,000 sq. ft. all other floor area
Telecommunications Towers	2 spaces per tower
TV / Radio Studios	1 space per 300 sq. ft. of floor area, plus 1 space per 3 studio audience members at maximum capacity
Utility / Infrastructure Facilities	1 space per 2,000 sq. ft. of floor area
Utility Substations	4 spaces
Vehicle Sales / Displays	1 space per 300 sq. ft. office floor area, plus 1 space per 600 sq. ft. showroom floor area, plus 1 space per 500 sq. ft. all other floor area
Vehicle Sales / Displays, Major	1 space per 300 sq. ft. office floor area, plus 1 space per 1,000 sq. ft. all other floor area
Vehicle Service, Major	1 space per 300 sq. ft. office floor area, plus 1 space per 500 sq. ft. all other floor area
Veterinary Offices	1 space per 250 sq. ft. of floor area
Wholesale / Distribution / Warehouse Facility	1 space per 300 sq. ft. office floor area, plus 1 space per 1,000 sq. ft. all other floor area
GOVERNMENTAL USES	
Fire Station	3 spaces, plus 1 space per 2 employees on maximum shift.
Libraries	1 space per 250 sq. ft. of floor area
Offices	1 space per 300 sq. ft. of floor area
Police Station	2 spaces per 3 employees on maximum shift, plus 1 space per vehicle stored on-site
Post Office	1 space per 200 sq. ft. of floor area

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2. If a calculation of required parking spaces results in a fractional space, the number of required parking spaces shall be rounded up to the next whole number.

1 **C. Alternative parking requirements.** If a use is not listed in Section 5-1409.B.1., then the off-
2 street parking requirement shall be the same as the requirement for a functionally similar use
3 that is listed in Section 5-1409.B.1., as determined by the Development Review Official.
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5 **D. Loading spaces.** Adequate loading spaces shall be provided for all commercial, educational,
6 and industrial buildings.
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8 **E. Calculation of compliance with parking requirement.**

- 9 1. Excluded parking spaces. Parking spaces that meet any of the following criteria shall not
10 be counted in determining the amount of parking provided pursuant to this Section 5-
11 1409:
12 a. Off-street parking spaces that are operated as a commercial parking lot.
13 b. Off-street parking spaces that are provided for residential and overnight
14 accommodations uses and are available only upon payment of a fee.
15 c. Tandem spaces, except those that serve townhomes.
16 2. Valet parking spaces. Valet parking spaces for overnight accommodations, restaurants,
17 and minor vehicle sales in any zoning district may comprise up to twenty-five percent
18 (25%) of the required parking spaces for those uses.
19 3. Remote parking spaces. In the CBD District, remote parking spaces may comprise up to
20 fifty percent (50%) of the required parking spaces for residential uses.
21 4. Mechanical access parking structures and parking lifts. Spaces in mechanical access
22 parking structures and parking lifts shall be counted as required parking spaces if they
23 require no more points of ingress or egress than a conventional parking garage of the
24 same capacity in order to provide for comparable safe and orderly traffic flow on adjacent
25 streets, and:
26 a. The building served by the mechanical access parking structure or parking lift is no
27 greater in size than the largest building that could be constructed on the parcel
28 proposed for development with exclusively conventional structured parking; or
29 b. The building is located in the CBD, has a floor area ratio of 1.25 or less (1.45 or less
30 if Mediterranean bonus is used), including the area used for mechanical access
31 parking structure or parking lift, and the spaces are used for required residential
32 parking.
33 5. Counted parking spaces. All parking and loading spaces that are provided on-site and all
34 parking spaces that are in permitted remote off-street parking facilities count in
35 determining the amount of parking provided pursuant to this Section 5-1408, except as
36 provided in Section 5-1409.E.1. through 4.
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